

AGENDA
REGULAR MEETING OF
OKLAHOMA CITY REDEVELOPMENT AUTHORITY
WEDNESDAY, JANUARY 15, 2025
CONFERENCE ROOM
431 WEST MAIN STREET, SUITE B
10:30 A M

RECEIVED

By The City of Oklahoma City Office of the City Clerk at 9:11 am, Jan 14, 2025

- I. Call to Order
- II. Statement of Compliance with the Oklahoma Open Meeting Law
- III. Roll Call
- IV. Reading and Approval of Minutes of a Regular and Annual Meeting held on Wednesday, July 17, 2024
- V. Resolution No. _____ Resolution Receiving and Accepting Audits of Accounts by Allen, Gibbs & Houlik, L.C., for the Fiscal Years Ending June 30, 2023 and June 30, 2024
- VI. Resolution No. _____ Resolution Ratifying the Executive Director's Approval of Infrastructure Development Plan for Horizontal Infrastructure Improvements Submitted by OPERATIONREADYMIX LLC Pursuant to the Economic Development Agreement, Oklahoma Regional Innovation District Project Plan
- VII. Resolution No. _____ Resolution Approving Development Plans Submitted By SANDWAL LC Pursuant to the Economic Development Agreement, Oklahoma Regional Innovation District Project Plan
- VIII. Resolution No. _____ Resolution Approving and Ratifying the Executive Director's Actions Issuing an Administrative Approval of a Vendors List for Professional Services Providers, Including Architects, Landscape Architects, Urban Designers and Construction Managers, City Planners, Environmental Scientists and Environmental Testing Service Providers, Independent Appraisers, Title Examiners and Title Insurance Providers, Surveyors, Civil Engineers, Traffic Consultants, Demolition Services, Inspection Services, Acquisition and Relocation Services, and Community Engagement Service
- IX. Presentation of Interim Financial Report for the Period Ending September 30, 2024
- X. New Business
- XI. Comments from Trustees
- XII. Comments from Citizens

XIII. Adjournment

Official action can only be taken on items which appear on the agenda. The OCRA Board of Trustees may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item. When more information is needed to act on an item, the Trustees may refer the matter to the Executive Director or Legal Counsel. The Board may also refer items to staff or committees for additional study. Under certain circumstances, items are deferred to a specific later date or stricken from the agenda entirely.

POSTED at the offices of the City Clerk and at 431 W. Main Street, Suite B by 10:30 a.m. on

Tuesday, January 14, 2025 by Pam Lunnon, Accounting & Administrative Coordinator

MINUTES OF REGULAR AND ANNUAL MEETING
OF THE
OF THE OKLAHOMA CITY REDEVELOPMENT AUTHORITY
THURSDAY, JULY 17, 2024

A Regular and Annual Meeting of the Trustees of the Oklahoma City Redevelopment Authority (“Redevelopment Authority”) was held on Wednesday, July 17, 2024, at 10:30 a.m. in the Conference Room at 431 W. Main Street, Suite B; Oklahoma City, OK.

The Chairman called the meeting to order and stated that the meeting was being held in compliance with the Oklahoma Open Meeting Law. The following Trustees were present:

Mr. J. Larry Nichols
Mr. James R. Tolbert, III
Mr. Lee E. Cooper, Jr
Ms. Judy Hatfield
Councilman Mark K. Stonecipher

Trustees Absent:

Mr. Russell M. Perry
Mayor David Holt

Staff Present:

Emily Pomeroy, Dan Batchelor, Jeff Sabin and Kathryn Walker, CEDL
Kenton Tsoodle, Geri Harlan, Keith Kuhlman, Cassi Poor, Melva Franklin, Clara Steegborn, Olen Cook, Pam Lunnon and Shira Lucky, The Alliance for Economic Dev. of OKC

Others:

None

The Chairman asked for a motion to approve, as circulated, the minutes of a Regular Meeting held on Thursday, June 6, 2024. Mr. Tolbert moved the adoption of the minutes and upon second by Mr. Cooper, the vote was as follows:

Trustee J. Larry Nichols	Aye
Trustee James R. Tolbert, III	Aye
Trustee Judy Hatfield	Aye
Trustee Russell M. Perry	Absent
Trustee Mr. Lee Cooper, Jr.	Aye
Mayor David Holt	Absent
Councilman Mark K. Stonecipher	Aye

Minutes Adopted

The Chairman called for Election of Officers

Chairman stated it is time to conduct the annual election of officers for the Oklahoma City Redevelopment Authority and the following has been recommended:

Chairman: J. Larry Nichols
Vice Chairman: James R. Tolbert, III
Secretary-Treasurer: Judy J. Hatfield
Assistant Secretary: Lee E. Cooper, Jr.
Assistant Secretary: Russell M. Perry
Assistant Secretary: David Holt
Assistant Secretary: Mark K. Stonecipher

Mr. Coope moved to adopt the officers, and upon second by Ms. Tolbert, the vote was as follows:

Trustee J. Larry Nichols	Aye
Trustee James R. Tolbert, III	Aye
Trustee Judy Hatfield	Aye
Trustee Russell M. Perry	Absent
Trustee Mr. Lee Cooper, Jr.	Aye
Mayor David Holt	Absent
Councilman Mark K. Stonecipher	Aye

Officers adopted

The Chairman introduced the following resolutions:

Resolution No. 263 entitled:

“Resolution Approving Annual Budget for Legal Services Between the Oklahoma City Redevelopment Authority and the Center for Economic Development Law for Fiscal Year Beginning July 1, 2024, and Ending June 30, 2025”

Ms. Hatfield moved the adoption of this resolution and upon a second by Mr. Cooper, the vote was as follows:

Trustee J. Larry Nichols	Aye
Trustee James R. Tolbert, III	Aye
Trustee Judy Hatfield	Aye
Trustee Russell M. Perry	Absent
Trustee Mr. Lee Cooper, Jr.	Aye
Mayor David Holt	Absent
Councilman Mark K. Stonecipher	Aye

Resolution Adopted

Resolution No. 264 entitled:

“Resolution of the Oklahoma City Redevelopment Authority Authorizing Advancements for Payment of Certain Costs Incurred by the Oklahoma City Urban Renewal Authority in Connection with Proposed and Approved Projects, and Approving and Ratifying Actions through June 30, 2024”

Ms. Hatfield moved the adoption of this resolution and upon a second by Mr. Cooper, the vote was as follows:

Trustee J. Larry Nichols	Aye
Trustee James R. Tolbert, III	Aye
Trustee Judy Hatfield	Aye
Trustee Russell M. Perry	Absent
Trustee Mr. Lee Cooper, Jr.	Aye
Mayor David Holt	Absent
Councilman Mark K. Stonecipher	Aye

Resolution Adopted

Resolution No. 265 entitled:

“Resolution of the Oklahoma City Redevelopment Authority Approving Proposal by Allen, Gibbs & Houlik, L.C., to Provide an Audit of Accounts for the Fiscal Year Ending June 30, 2024, and Authorizing the Chairman and the Executive Director to Execute the Proposal”

Ms. Hatfield moved the adoption of this resolution and upon a second by Mr. Tolbert, the vote was as follows:

Trustee J. Larry Nichols	Aye
Trustee James R. Tolbert, III	Aye
Trustee Judy Hatfield	Aye
Trustee Russell M. Perry	Absent
Trustee Mr. Lee Cooper, Jr.	Aye
Mayor David Holt	Absent
Councilman Mark K. Stonecipher	Aye

Resolution Adopted

Presentation of Interim Financial Reports for the Period Ending June 30, 2024

Geri Harlan presented the financial statements for the period ending June 30, 2024.

Ms. Hatfield moved to receive financials and upon a second by Mr. Cooper, the vote was as follows:

Trustee J. Larry Nichols	Aye
Trustee James R. Tolbert, III	Aye
Trustee Judy Hatfield	Aye
Trustee Russell M. Perry	Absent
Trustee Mr. Lee Cooper, Jr.	Aye
Mayor David Holt	Absent
Councilman Mark K. Stonecipher	Aye

Financials Received

There being no further business to come before the Board, meeting was adjourned by the Chairman at 10:38 a.m.

SECRETARY

OKLAHOMA CITY REDEVELOPMENT AUTHORITY

To: Board of Trustees of the Oklahoma City Redevelopment Authority

From: Kenton Tsoodle, Executive Director

Date: January 15, 2025

Ref: Resolution Receiving and Accepting Audits Of Accounts By Allen, Gibbs & Houlik, L.C., For The Fiscal Years Ending June 30, 2023 And June 30, 2024

TRUSTEES

J. Larry Nichols
Chairman

James R. Tolbert III
Vice Chairman

Vacant

Judy J. Hatfield

David Holt

Russell M. Perry

Mark Stonecipher

EXECUTIVE DIRECTOR

Kenton Tsoodle

Background: AGH, L.C., CPA's & Advisors completed its audit of the financial activities of OCRA for the fiscal years ending June 30, 2023 and June 30, 2024. The audits of the financial activities for the fiscal year ending June 30, 2023 and June 30, 2024 were delivered via email to the Board on November 14, 2023 and December 16, 2024, respectively. AGH, L.C. presented the audits to the OCRA audit committee on January 15, 2025. The Executive Director, as well as the Chief Financial Officer of The Alliance have reviewed the audit and recommend approval.

Summary of Agenda Item: The resolution for consideration receives and accepts the audit by AGH, L.C., CPA's & Advisors for the fiscal years ending June 30, 2023 and June 30, 2024.

Recommendation: Approval of Resolution.

RESOLUTION NO. _____

RESOLUTION RECEIVING AND ACCEPTING AUDITS OF ACCOUNTS BY ALLEN, GIBBS & HOULIK, L.C., FOR THE FISCAL YEARS ENDING JUNE 30, 2023 AND JUNE 30, 2024

WHEREAS, the Oklahoma City Redevelopment Authority, a public trust (“OCRA”), was created for the purpose of assisting in the implementation of economic development and redevelopment projects and aiding and providing financial assistance to the Oklahoma City Urban Renewal Authority in connection with its proposed and approved redevelopment activities; and

WHEREAS, in May 2023, OCRA accepted a proposal from Allen, Gibbs, & Houlik, L.C. to audit OCRA’s financial activities for the fiscal year ending June 30, 2023; and

WHEREAS, in July 2023, OCRA accepted a proposal from Allen, Gibbs, & Houlik, L.C. to audit OCRA’s financial activities for the fiscal year ending June 30, 2024; and

WHEREAS, Allen, Gibbs, & Houlik, L.C., has submitted audits of accounts to OCRA for the fiscal years ending June 30, 2023 (“FYE 2023 OCRA Audit”) and June 30, 2024 (“FYE 2024 OCRA Audit”); and

WHEREAS, OCRA’s Audit Committee has met to review the FYE 2023 OCRA Audit and the FYE 2024 OCRA Audit, and recommends acceptance of both by the Board of Trustees; and

WHEREAS, the Board of Trustees of OCRA deems it appropriate and desirable to accept the FYE 2023 OCRA Audit and the FYE 2024 OCRA Audit.

NOW, THEREFORE, BE IT RESOLVED, by the Board of Trustees of OCRA that the audits of accounts submitted by Allen, Gibbs, & Houlik, L.C., for the fiscal years ending June 30, 2023, and June 30, 2024, are hereby accepted.

I, _____, Secretary of the Board of Trustees of the Oklahoma City Redevelopment Authority, a public trust, certify that the foregoing Resolution No. _____ was duly adopted at a **regular** meeting of the Oklahoma City Redevelopment Authority, held at the Arts District Garage Conference Room, 431 West Main Street, Suite B, Oklahoma City, Oklahoma 73102, on the **15th** day of **January, 2025**; that said meeting was held in accordance with the By-Laws of OCRA and the Oklahoma Open Meetings Act; that any notice required to be given of such meeting was properly given; that a quorum was present at all times during said meeting; and that the Resolution was duly adopted by a legally sufficient number of the Trustees.

SECRETARY

(SEAL)

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A COMPONENT UNIT OF THE CITY OF OKLAHOMA CITY, OKLAHOMA)

FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2024 AND 2023

WITH

INDEPENDENT AUDITOR'S REPORT



OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A COMPONENT UNIT OF THE CITY OF OKLAHOMA CITY, OKLAHOMA)

FINANCIAL STATEMENTS

YEARS ENDED JUNE 30, 2024 AND 2023

WITH

INDEPENDENT AUDITOR'S REPORT

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

FINANCIAL STATEMENTS

Years Ended June 30, 2024 and 2023

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*This is a copy of the Company's annual financial statements reproduced
from an electronic file. An original copy of this document
is available at the Company's office.*

INDEPENDENT AUDITOR'S REPORT

Board of Trustees
Oklahoma City Redevelopment Authority
Oklahoma City, Oklahoma

Report on the Audit of the Financial Statements

Opinions

We have audited the accompanying financial statements of the governmental activities and each major fund of the Oklahoma City Redevelopment Authority (Authority), a component unit of the City of Oklahoma City, Oklahoma, as of and for the years ended June 30, 2024 and 2023, and the related notes to the financial statements, which collectively comprise the Authority's basic financial statements as listed in the table of contents.

In our opinion, the accompanying financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities and each major fund of the Authority, as of June 30, 2024 and 2023, and the respective changes in financial position for the year then ended in accordance with accounting principles generally accepted in the United States of America.

Basis for Opinions

We conducted our audits in accordance with auditing standards generally accepted in the United States of America (GAAS) and the standards applicable to financial audits contained in *Government Auditing Standards (Government Auditing Standards)*, issued by the Comptroller General of the United States. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Financial Statements section of our report. We are required to be independent of the Authority and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements relating to our audits. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinions.

Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America, and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the Authority's ability to continue as a going concern for twelve months beyond the financial statement date, including any currently known information that may raise substantial doubt shortly thereafter.

Auditor's Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinions. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with GAAS and *Government Auditing Standards* will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.

Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with GAAS and *Government Auditing Standards*, we

- exercise professional judgment and maintain professional skepticism throughout the audit.
- identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Authority's internal control. Accordingly, no such opinion is expressed.
- evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the Authority's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control-related matters that we identified during the audit.

Required Supplementary Information

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis on pages 4 - 8 be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audits of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

Other Information

Management is responsible for the other information included in the annual report. The other information comprises the budget-to-actual expenditure comparison (project life-to-date) and related notes but does not include the basic financial statements and our auditor's report thereon. Our opinions on the basic financial statements do not cover the other information, and we do not express an opinion or any form of assurance thereon.

In connection with our audits of the basic financial statements, our responsibility is to read the other information and consider whether a material inconsistency exists between the other information and the basic financial statements, or the other information otherwise appears to be materially misstated. If,

based on the work performed, we conclude that an uncorrected material misstatement of the other information exists, we are required to describe it in our report.

Other Reporting Required by *Government Auditing Standards*

In accordance with *Government Auditing Standards*, we have also issued our report dated November 21, 2024 on our consideration of the Authority's internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements and other matters. The purpose of that report is solely to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the Authority's internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering Authority's internal control over financial reporting and compliance.

Allen, Gibbs & Houlik, L.C
CERTIFIED PUBLIC ACCOUNTANTS

Wichita, KS
November 21, 2024

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

MANAGEMENT'S DISCUSSION AND ANALYSIS

Years Ended June 30, 2024 and 2023

Introduction

This management's discussion and analysis of the financial performance of the Oklahoma City Redevelopment Authority (Authority), a discretely presented component unit of the City of Oklahoma City, Oklahoma (City), provides an overview of the Authority's financial activities for the years ended June 30, 2024 and 2023. It should be read in conjunction with the accompanying financial statements of the Authority.

Financial Highlights

- Cash decreased in 2024 by \$16,775,447 and increased in 2023 by \$14,478,081.
- The Authority's capital assets increased in 2024 by \$68,242 and increased in 2023 by \$10,595,063.
- Total liabilities decreased in 2024 by \$15,620,316 and increased in 2023 by \$10,841,381, respectively.
- The Authority's net position increased in 2024 by \$1,805,745 and decreased in 2023 by \$15,981,351.

Overview of the Financial Statements

This discussion introduces the Authority's basic financial statements. The basic financial statements include the: 1) government-wide statements; 2) fund financial statements; and 3) notes to the financial statements.

The government-wide financial statements report the Authority as a whole. The statements of net position and activities are presented using the economic resources measurement focus and the accrual basis of accounting, similar to private business enterprises.

The fund financial statements; the balance sheet and statement of revenues, expenditures, and changes in fund balances, are presented using the current financial resources measurement focus and the modified accrual basis of accounting. These statements measure only the current financial resources available to the Authority. Also included are reconciliations of the fund financial statements to the government-wide financial statements outlining the differences between the two sets of statements.

Statement of Net Position

The statement of net position presents assets, liabilities, and net position. The purpose of the statement of net position is to present to readers of the financial statements a fiscal snapshot of the Authority.

From the data presented, readers of the statement of net position are able to determine the assets available to continue the operations of the Authority. They are also able to determine how much is owed to the Authority and how much the Authority owes its vendors and lenders.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

MANAGEMENT'S DISCUSSION AND ANALYSIS

Years Ended June 30, 2024 and 2023

Total assets of the Authority decreased by \$13,814,571 in 2024 and decreased by \$5,139,970 in 2023. In 2024, a decrease in cash primarily resulted from the repayment of the Skirvin Hotel proceeds to the City. In 2023, increases in capital assets and cash were offset by decreases in investments and receivables. Total liabilities decreased in 2024 by \$15,620,316 and increased 2023 by \$10,841,381, respectively. In 2024, there was a significant decrease in funds held on behalf of other governments. In 2023, increases in funds held on behalf of other governments and due to the Oklahoma City Economic Development Trust (OCEDT) were offset by decreases due to Urban Renewal and long-term debt.

In 2024, capital assets increased \$68,242 as work continued on the Innovation District Project. In 2023, capital assets increased \$10,595,063 due to the commencement of the Innovation District Project and receipt of capital contributions related to capital assets the Authority will own, and long-term debt decreased due to the final payments made on the outstanding debt.

Summary of Net Position

	<u>2024</u>	<u>2023</u>	<u>Change</u>	<u>% Change</u>	<u>2022</u>	<u>Change</u>	<u>% Change</u>
Current and other assets	\$ 14,550,043	\$ 28,432,856	\$ (13,882,813)	-49%	\$ 44,167,889	\$ (15,735,033)	-36%
Capital assets	14,409,839	14,341,597	68,242	0%	3,746,534	10,595,063	283%
Total assets	<u>28,959,882</u>	<u>42,774,453</u>	<u>(13,814,571)</u>	-32%	<u>47,914,423</u>	<u>(5,139,970)</u>	-11%
Long-term liabilities	4,957,857	5,000,000	(42,143)	-1%	72,707	4,927,293	6777%
Other liabilities	657,443	16,235,616	(15,578,173)	-96%	10,321,528	5,914,088	57%
Total liabilities	<u>5,615,300</u>	<u>21,235,616</u>	<u>(15,620,316)</u>	-74%	<u>10,394,235</u>	<u>10,841,381</u>	104%
Net investment in capital assets	14,008,544	13,940,302	68,242	0%	3,295,547	10,644,755	323%
Restricted	9,336,038	7,598,535	1,737,503	23%	34,224,641	(26,626,106)	-78%
Net position	<u>\$ 23,344,582</u>	<u>\$ 21,538,837</u>	<u>\$ 1,805,745</u>	8%	<u>\$ 37,520,188</u>	<u>\$ (15,981,351)</u>	-43%

Summary of Changes in Net Position

The statements of activities report how the Authority's net position changed during the fiscal year. All current year revenues and expenses are included regardless of when cash is received or paid. For the year ended June 30, 2024, net position increased by \$1,805,745 and for the year ended June 30, 2023, net position decreased by \$15,981,351. The increase in current year and decrease in prior year net position was due primarily to fluctuations in non-capital related economic development expenses incurred related the commencement of the Innovation District project in fiscal year 2023.

	<u>2024</u>	<u>2023</u>	<u>Change</u>	<u>% Change</u>	<u>2022</u>	<u>Change</u>	<u>% Change</u>
Operating grants, contributions and restricted interest	\$ 620,903	\$ 16,792,034	\$ (16,171,131)	-96%	\$ 343,791	\$ 16,448,243	4784%
General revenues	2,935,250	2,723,772	211,478	8%	3,715,714	(991,942)	-27%
Total revenues	<u>3,556,153</u>	<u>19,515,806</u>	<u>(15,959,653)</u>	-82%	<u>4,059,505</u>	<u>15,456,301</u>	381%
Economic development expenses	1,750,408	35,497,090	(33,746,682)	-95%	1,220,384	34,276,706	2809%
Interest expense	-	67	(67)	-100%	7,164	(7,097)	-99%
Total operating expenses	<u>1,750,408</u>	<u>35,497,157</u>	<u>(33,746,749)</u>	-95%	<u>1,227,548</u>	<u>34,269,609</u>	2792%
Change in net position	<u>\$ 1,805,745</u>	<u>\$ (15,981,351)</u>	<u>\$ 17,787,096</u>	-111%	<u>\$ 2,831,957</u>	<u>\$ (18,813,308)</u>	-664%
Beginning net position, restated	21,538,837	37,520,188	(15,981,351)	-43%	34,688,231	2,831,957	8%
Ending net position	<u>\$ 23,344,582</u>	<u>\$ 21,538,837</u>	<u>\$ 1,805,745</u>	8%	<u>\$ 37,520,188</u>	<u>\$ (15,981,351)</u>	-43%

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

MANAGEMENT'S DISCUSSION AND ANALYSIS

Years Ended June 30, 2024 and 2023

Fund Financial Statements

The fund financial statements provide a detailed short-term view of the activity in the Authority's two special revenue funds - TIF and Skirvin Hotel Project. The information helps to determine the amount of current financial resources available and focuses on how money flows in and out of each fund and the balances available at year-end.

Condensed Fund Financial Statements for TIF Fund

	2024	2023	Change	% Change	2022	Change	% Change
TIF 1							
Total assets	\$ 14,550,043	\$ 13,354,382	\$ 1,195,661	9%	\$ 34,271,956	\$ (20,917,574)	-61%
Total liabilities	(615,300)	(1,157,142)	541,842	-47%	(10,321,528)	9,164,386	-89%
Deferred inflows of resources	(5,179,040)	(5,117,843)	(61,197)	1%	(4,986,111)	(131,732)	3%
Fund balance	\$ 8,755,703	\$ 7,079,397	\$ 1,676,306	24%	\$ 18,964,317	\$ (11,884,920)	-63%
Taxes	\$ 2,864,473	\$ 2,679,838	\$ 184,635	7%	\$ 3,713,913	\$ (1,034,075)	-28%
Other income	115,935	626,726	(510,791)	-82%	88,307	538,419	610%
Total revenues	2,980,408	3,306,564	(326,156)	-10%	3,802,220	(495,656)	-13%
Research Park related expenditures	106,560	112,805	(6,245)	-6%	104,750	8,055	8%
Administration	629,311	19,659,444	(19,030,133)	-97%	696,820	18,962,624	2721%
Other	568,231	346,461	221,770	64%	93,400	253,061	271%
Debt services							
Principal	--	72,707	(72,707)	-100%	869,600	(796,893)	-92%
Interest	--	67	(67)	-100%	7,164	(7,097)	-99%
Total expenditures	1,304,102	20,191,484	(18,887,382)	-94%	1,771,734	18,419,750	1040%
Long-term debt issued	--	5,000,000	(5,000,000)	-100%	--	5,000,000	100%
Total other financing sources	--	5,000,000	(5,000,000)	-100%	--	5,000,000	100%
Change in fund balance	\$ 1,676,306	\$ (11,884,920)	\$ 13,561,226	114%	\$ 2,030,486	\$ (13,915,406)	-685%

The change in fund balance for the TIF Fund was an increase in 2024 of \$1,676,306 and a decrease in 2023 of \$11,884,920. The increase in 2024 and the decrease in 2023 was primarily driven by the activity of non-capital related economic development costs for the Innovation District project in both years.

Condensed Fund Financial Statements for Skirvin Hotel Project Fund

	2024	2023	Change	% Change	2022	Change	% Change
Skirvin Hotel Project							
Total assets	\$ --	\$ 15,078,474	\$ (15,078,474)	-100%	\$ 9,895,933	\$ 5,182,541	52%
Deferred inflows of resources	--	(15,078,474)	15,078,474	-100%	(364,669)	(14,713,805)	4035%
Fund balance	\$ --	\$ --	\$ --	0%	\$ 9,531,264	\$ (9,531,264)	-100%
Rental income	--	\$ 5,040,403	\$ (5,040,403)	100%	--	\$ 5,040,403	100%
Interest income on loans	--	490,272	(490,272)	-100%	273,502	216,770	79%
Investment income	--	98,996	(98,996)	-100%	61	98,935	162189%
Total revenues	--	5,629,671	(5,629,671)	-100%	273,563	5,356,108	1958%
Expenditures	--	15,160,935	(15,160,935)	100%	--	15,160,935	100%
Change in fund balance	\$ --	\$ (9,531,264)	\$ 9,531,264	100%	\$ 273,563	\$ (9,804,827)	-3584%

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MANAGEMENT'S DISCUSSION AND ANALYSIS

Years Ended June 30, 2024 and 2023

In 2024 final debt payments were made and the Skirvin Hotel Project Fund became inactive. The change in fund balance for the Skirvin Hotel Project in 2023 was a decrease of \$9,531,264. The change in 2023 was due to the Skirvin Hotel sale and repayment of the outstanding note receivable.

The fund balances for both the TIF and the Skirvin Hotel Project are restricted for debt service, TIF activities, and economic development activities.

Capital Assets, Net of Accumulated Depreciation

Capital Assets

The Authority's investment in capital assets, net of accumulated depreciation, as of June 30, 2024, was \$14,409,839. The increase of \$68,242 from June 30, 2023 as compared to an increase of \$10,595,063 or 283% from June 30, 2022, is primarily because of a slowdown in work on the Innovation project as construction nears completion. The increase in 2023 is primarily related to construction in progress and contribution of land related to the Innovation District Project. See Note 6 to the accompanying financial statements for more information regarding capital assets.

	<u>2024</u>	<u>2023</u>	<u>Change</u>	<u>% Change</u>	<u>2022</u>	<u>Change</u>	<u>% Change</u>
Non-depreciable assets							
Land	\$ 1,319,557	\$ 1,449,557	\$ (130,000)	-9%	\$ 506,891	\$ 942,666	186%
Assets held for sale	401,295	401,295	--	0%	401,295	--	0%
Construction on progress	10,432,871	9,943,516	489,355	5%	--	9,943,516	100%
Total non-depreciable assets	<u>12,153,723</u>	<u>11,794,368</u>	<u>359,355</u>	3%	<u>908,186</u>	<u>10,886,182</u>	1199%
Depreciable assets							
Buildings	<u>2,256,116</u>	<u>2,547,229</u>	<u>(291,113)</u>	-11%	<u>2,838,348</u>	<u>(291,119)</u>	-10%
Total capital assets	<u>\$ 14,409,839</u>	<u>\$ 14,341,597</u>	<u>\$ 68,242</u>	0%	<u>\$ 3,746,534</u>	<u>\$ 10,595,063</u>	283%

Long-Term Debt

At the end of fiscal years 2024 and 2023, the Authority had no long-term debt. The Authority does have a \$5,000,000 payable due to OCEDT at the end of fiscal years 2024 and 2023. See Note 8 to the accompanying financial statements for more information regarding debt.

Economic Factors

The Authority is designated to receive tax apportionment revenues for TIF Districts 1, 7, and 11. To date, the Authority has collected approximately \$33,827,000, \$3,537,000, and \$3,212,000 for TIF 1, TIF 7, and TIF 11, respectively. Revenues will be collected throughout the life of the TIF Districts and used for economic development projects within the project areas. The Skirvin Hotel sold in fiscal year 2023 and the hotel repaid the outstanding note receivable and made a ground lease payment in 2023. The proceeds of which were repaid to the City in 2024. The Skirvin fund became inactive in fiscal year 2024.

The Convergence Project, which is included within the established Innovation District, was funded during fiscal year 2023. The development will be for a major mixed-use project consisting of an office tower, building for research labs and office space, a parking garage, hotel, amenity deck, public realm open-air community environment and the building of the Innovation Hall. Upon completion, Innovation

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MANAGEMENT'S DISCUSSION AND ANALYSIS

Years Ended June 30, 2024 and 2023

Hall will be owned by the Authority. The project will generate a minimum tax payment. Net tax-apportionment revenues from the project will be used to pay related debt and fund future projects in the Innovation District.

Contacting the Authority's Management

This financial report is designed to provide a general overview of the Authority's finances, comply with finance-related laws and regulations, and demonstrate commitment to public accountability. If anyone has questions about this report or would like to request additional information, please contact the Authority's general manager at 105 N. Hudson, Suite 101, Oklahoma City, Oklahoma 73102.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
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STATEMENTS OF NET POSITION

June 30, 2024 and 2023

	2024	2023
Assets		
Current assets		
Cash	\$ 1,853,320	\$ 18,628,767
Investments, at fair value	3,238,540	--
Due from other governments	398,433	353,717
Payments in lieu of taxes receivable	282,323	281,455
Interest receivable	95,174	74,490
Total current assets	5,867,790	19,338,429
Capital assets		
Land	1,319,557	1,449,557
Building held for sale	401,295	401,295
Construction in progress	10,432,871	9,943,516
Buildings, net	2,256,116	2,547,229
Total capital assets	14,409,839	14,341,597
Other non-current assets		
Due from other governments	4,408,181	4,408,181
Notes receivable	4,274,072	4,686,246
Total other non-current assets	8,682,253	9,094,427
Total assets	28,959,882	42,774,453
Liabilities		
Current liabilities		
Current portion of long-term debt	42,143	--
Accounts payable	31,141	37,277
Funds held on behalf of other governments	570,429	16,138,258
Due to Urban Renewal	13,730	60,081
Total current liabilities	657,443	16,235,616
Noncurrent liabilities		
Due to OKC Economic Development Trust	4,957,857	5,000,000
Total liabilities	5,615,300	21,235,616
Net Position		
Net investment in capital assets	14,008,544	13,940,302
Restricted for economic development activities	9,336,038	7,598,535
Total net position	\$ 23,344,582	\$ 21,538,837

The accompanying notes are an integral part of these financial statements.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
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STATEMENTS OF ACTIVITIES

Years Ended June 30, 2024 and 2023

	Program Revenues			Net Revenue (Expense) and Change in Net Position	
	Expenses	Charges for Services	Operating Grants and Contributions		Operating Grants and Contributions
2024					
Governmental activities					
Economic development	\$ 1,750,408	\$ --	\$ --	\$ 620,903	\$ (1,129,505)
Total primary government	\$ 1,750,408	\$ --	\$ --	\$ 620,903	(1,129,505)
General Revenues					
Apportioned ad valorem taxes					1,131,037
Payments in lieu of taxes					1,804,213
Total general revenues					2,935,250
Change in net position					1,805,745
Net position, beginning of year					21,538,837
Net position, end of year					\$ 23,344,582
2023					
Governmental activities					
Economic development	\$ 35,497,090	\$ --	\$ --	\$ 16,792,034	\$ (18,705,056)
Interest expense	67	--	--	--	(67)
Total primary government	\$ 35,497,157	\$ --	\$ --	\$ 16,792,034	(18,705,123)
General Revenues					
Apportioned ad valorem taxes					921,281
Payments in lieu of taxes					1,802,491
Total general revenues					2,723,772
Change in net position					(15,981,351)
Net position, beginning of year					37,520,188
Net position, end of year					\$ 21,538,837

The accompanying notes are an integral
part of these financial statements.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

BALANCE SHEETS - GOVERNMENTAL FUNDS

June 30, 2024 and 2023

	2024		
	TIF	Skirvin Hotel Project	Total Governmental Funds
Assets			
Cash	\$ 1,853,320	\$ --	\$ 1,853,320
Investments, at fair value	3,238,540	--	3,238,540
Interest receivable	95,174	--	95,174
Payments in lieu of taxes receivable	282,323	--	282,323
Ad valorem taxes receivable	398,433	--	398,433
Receivables from other governments	4,408,181	--	4,408,181
Notes receivable, noncurrent	4,274,072	--	4,274,072
Total assets	\$ 14,550,043	\$ --	\$ 14,550,043
Liabilities, Deferred Inflows of Resources and Fund Balances			
Liabilities			
Accounts payable	\$ 31,141	\$ --	\$ 31,141
Funds held on behalf of other governments	570,429	--	570,429
Due to other governments	13,730	--	13,730
Total liabilities	615,300	--	615,300
Deferred inflows of resources	5,179,040	--	5,179,040
Fund balances			
Restricted for:			
Other TIF activities	8,755,703	--	8,755,703
Total fund balances	8,755,703	--	8,755,703
Total liabilities, deferred inflows of resources and fund balances	\$ 14,550,043	\$ --	\$ 14,550,043

Continued

The accompanying notes are an integral
part of these financial statements.

	2023		
	TIF	Skirvin Hotel Project	Total Governmental Funds
Assets			
Cash	\$ 3,550,293	\$ 15,078,474	\$ 18,628,767
Interest receivable	74,490	--	74,490
Payments in lieu of taxes receivable	281,455	--	281,455
Ad valorem taxes receivable	353,717	--	353,717
Receivables from other governments	4,408,181	--	4,408,181
Notes receivable, noncurrent	4,686,246	--	4,686,246
Total assets	<u>\$ 13,354,382</u>	<u>\$ 15,078,474</u>	<u>\$ 28,432,856</u>
Liabilities, Deferred Inflows of Resources and Fund Balances			
Liabilities			
Accounts payable	\$ 37,277	\$ --	\$ 37,277
Funds held on behalf of other governments	1,059,784	15,078,474	16,138,258
Due to other governments	60,081	--	60,081
Total liabilities	<u>1,157,142</u>	<u>15,078,474</u>	<u>16,235,616</u>
Deferred inflows of resources	<u>5,117,843</u>	<u>--</u>	<u>5,117,843</u>
Fund balances			
Restricted for:			
Other TIF activities	<u>7,079,397</u>	<u>--</u>	<u>7,079,397</u>
Total fund balances	<u>7,079,397</u>	<u>--</u>	<u>7,079,397</u>
Total liabilities, deferred inflows of resources and fund balances	<u>\$ 13,354,382</u>	<u>\$ 15,078,474</u>	<u>\$ 28,432,856</u>

The accompanying notes are an integral
part of these financial statements.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

RECONCILIATION OF THE BALANCE SHEETS – GOVERNMENTAL FUNDS TO
THE STATEMENTS OF NET POSITION

June 30, 2024 and 2023

	2024	2023
Total fund balance - governmental funds	\$ 8,755,703	\$ 7,079,397
Amounts reported for governmental activities in the statement of net position are different because:		
Capital assets used in governmental activities are not financial resources and, therefore, are not reported in the fund financial statements		
Land	1,319,557	1,449,557
Building held for sale	401,295	401,295
Construction in progress	10,432,871	9,943,516
Buildings, net of accumulated depreciation; 2024 - \$5,021,695, 2023 - \$4,730,582	2,256,116	2,547,229
Revenues not collected within the 90 day availability period are deferred in the fund financial statements, but are recognized as revenue in the government-wide financial statements		
	5,179,040	5,117,843
Long-term liabilities are not due and payable in the current period and, therefore, are not reported as liabilities in the fund financial statements		
Long-term debt	(5,000,000)	(5,000,000)
Total net position - governmental activities	\$ 23,344,582	\$ 21,538,837

The accompanying notes are an integral part of these financial statements.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

STATEMENTS OF REVENUES, EXPENDITURES, AND CHANGES
IN FUND BALANCES – GOVERNMENTAL FUNDS

June 30, 2024 and 2023

	2024		
	TIF	Skirvin Hotel Project	Total Governmental Funds
Revenues			
Apportioned ad valorem taxes	\$ 1,042,257	\$ --	\$ 1,042,257
Payments in lieu of taxes	1,803,344	--	1,803,344
Interest income paid on tax deposits held by the Oklahoma County Treasurer	18,872	--	18,872
Investment income	115,935	--	115,935
Total revenues	2,980,408	--	2,980,408
Expenditures			
Biomedical, biopharmaceutical, and technological research and development facilities and other public research park improvements	106,560	--	106,560
Economic development and redevelopment activities with the Harrison-Walnut Urban Renewal Plan	568,231	--	568,231
Administration and other project development costs	629,311	--	629,311
Total expenditures	1,304,102	--	1,304,102
Excess of revenues over expenditures	1,676,306	--	1,676,306
Net change in fund balances	1,676,306	--	1,676,306
Fund balances, beginning of year	7,079,397	--	7,079,397
Fund balances, end of year	\$ 8,755,703	\$ --	\$ 8,755,703

Continued

The accompanying notes are an integral
part of these financial statements.

	2023		
	TIF	Skirvin Hotel Project	Total Governmental Funds
Revenues			
Apportioned ad valorem taxes	\$ 942,789	\$ --	\$ 942,789
Payments in lieu of taxes	1,724,983	--	1,724,983
Interest income paid on tax deposits held by the Oklahoma County Treasurer	12,066	--	12,066
Rental income on loans	--	5,040,403	5,040,403
Interest income on loans	--	490,272	490,272
Investment income	626,726	98,996	725,722
Total revenues	<u>3,306,564</u>	<u>5,629,671</u>	<u>8,936,235</u>
Expenditures			
Biomedical, biopharmaceutical, and technological research and development facilities and other public research park improvements	112,805	--	112,805
Economic development and redevelopment activities with the Harrison-Walnut Urban Renewal Plan	346,461	--	346,461
Administration and other project development costs	19,659,444	--	19,659,444
Payments due to other governments	--	15,160,935	15,160,935
Debt service			
Principal	72,707	--	72,707
Interest	67	--	67
Total expenditures	<u>20,191,484</u>	<u>15,160,935</u>	<u>35,352,419</u>
Excess of revenues over expenditures	<u>(16,884,920)</u>	<u>(9,531,264)</u>	<u>(26,416,184)</u>
Other financing sources (uses)			
Long-term debt issued	5,000,000	--	5,000,000
Total other financing sources (uses)	<u>5,000,000</u>	<u>--</u>	<u>5,000,000</u>
Net change in fund balance	<u>(11,884,920)</u>	<u>(9,531,264)</u>	<u>(21,416,184)</u>
Fund balances, beginning of year	<u>18,964,317</u>	<u>9,531,264</u>	<u>28,495,581</u>
Fund balances, end of year	<u>\$ 7,079,397</u>	<u>\$ --</u>	<u>\$ 7,079,397</u>

The accompanying notes are an integral
part of these financial statements.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

**RECONCILIATION OF THE STATEMENTS OF REVENUES, EXPENDITURES, AND CHANGES
IN FUND BALANCES – GOVERNMENTAL FUNDS TO THE STATEMENTS OF ACTIVITIES**

Years Ended June 30, 2024 and 2023

	2024	2023
Net change in fund balances - governmental funds	\$ 1,676,306	\$ (21,416,184)
Amounts reported for governmental activities in the statement of activities are different because:		
Revenues in the statement of activities that do not provide current financial resources are not reported as revenues in the fund financial statements		
Apportioned ad valorem taxes	45,584	117,608
Investment income receivable	15,613	(350,545)
Governmental funds report capital outlays as expenditures. However, in the statement of activities, the costs of assets are allocated over their estimated useful lives and reported as depreciation expense. Reconciling items related to capital assets include the following:		
Depreciation expense	(291,113)	(291,119)
Disposition of land	(130,000)	--
Donations of capital assets increase net position in the statement of activities, but do not appear in the governmental funds because they are not financial resources	489,355	10,886,182
The issuance of long-term debt provides current financial resources to governmental funds, while the repayment of principal of long-term debt consumes the current financial resources of governmental funds. Reconciling items related to long-term debt include the following:		
Issuance of long-term debt	--	(5,000,000)
Principal payments on debt agreements and notes payable	--	72,707
Total change in net position - governmental activities	\$ 1,805,745	\$ (15,981,351)

The accompanying notes are an integral part of these financial statements.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

NOTES TO THE FINANCIAL STATEMENTS

1. SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

Organization

The Oklahoma City Redevelopment Authority (Authority) was formed as a public trust on May 7, 1985. This Declaration of Trust named the City of Oklahoma City, Oklahoma (City) as the beneficiary of the trust. The purposes of the Authority are set forth in the Declaration of Trust.

The Authority is governed by a Board of Trustees nominated by the Mayor and approved by the City Council. For financial reporting purposes, the Authority is a component unit of the City.

Presently, the Authority has no employees but utilizes the Oklahoma City Urban Renewal Authority (Urban Renewal) to perform administrative activities.

The Authority has been designated as the entity to receive tax apportionment revenues for certain Tax Increment Financing (TIF) Districts of the City. The following TIFs are administered by the Authority:

TIF 1 and TIF 7 - Oklahoma Health Center Economic Development - Total budget of \$68,000,000 plus interest and the cost of issuance of bonds to finance the project.

TIF 11 - On December 20, 2016, the City Council approved the Oklahoma Regional Innovation District Project Plan, an Amended Oklahoma Health Center Economic Development Project Plan, to support an economic development strategy in and around the area known as the Oklahoma Health Center. The amended plan increased the Project Area, reduced the size of TIF 1 and TIF 7, and established TIF 11. The authorized budgets for TIF 1 and TIF 7 are unchanged. TIF 11 has an authorized revenue budget of \$52,000,000. Districts M and N were also created for future potential development opportunities and may be activated by the City Council within 10 years of approval of the Oklahoma Regional Innovation District Project Plan.

TIF 17 - On May 23, 2023, City Council approved the First Amendment to the Oklahoma Regional Innovation District Project Plan which further increased the Project Area and established TIF 17 (a sales tax increment district) and TIF P (an ad valorem increment district to be activated by the City Council within 10 years of the approval of the First Amendment). The authorized budget for TIF 17 is \$2,500,000.

The Districts have defined project areas and tax increment areas. TIF 1 terminated at June 30, 2022. TIF 7 is presently scheduled to terminate at June 30, 2032. TIF 11 is set to expire June 30, 2042. TIF 17 is set to expire June 30, 2028.

Reporting Entity

The Authority's financial statements are included in the financial statements of the City as a discretely presented component unit. The Authority is discretely presented because the majority of the Board is not the same as the voting majority of the City Council. These financial statements include only the activities of the Authority and not those of Urban Renewal.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

NOTES TO THE FINANCIAL STATEMENTS

1. SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (CONTINUED)

Basis of Presentation

The Authority complies with accounting principles generally accepted in the United States of America (GAAP). GAAP includes all relevant Governmental Accounting Standards Board (GASB) pronouncements. The accounting and reporting framework and the more significant accounting policies are discussed in subsequent sections of this note.

Government-Wide Financial Statements

The accompanying government-wide statements of net position and statements of activities display information about the Authority as a whole. The Authority's activities are all governmental in nature and generally are financed primarily through ad valorem taxes and payments in lieu of taxes. The Authority has no business-type activities as defined by GASB Statement No. 34, *Basic Financial Statements - and Management's Discussion and Analysis - for State and Local Governments*.

Fund Financial Statements

Fund financial statements are normally organized into funds, each of which is considered to be a separate accounting entity. A fund is accounted for by providing a separate set of self-balancing accounts, which constitute its assets, deferred outflows of resources, liabilities, deferred inflows of resources, fund equity, revenues, and expenditures/expenses. For the financial statement presentation, the Authority presently has two special revenue funds:

- TIF - Accounts for the activities of the TIFs
- Skirvin Hotel Project - The Authority, Urban Renewal, and the City have assisted in the renovation of the historic Skirvin Hotel. Activities include collection of lease revenue and ongoing debt service. The renovation involved both public and private funds. In 2023, the hotel was sold and in 2024 the fund became inactive.

Measurement Focus

On the government-wide financial statements, the Authority's activities are presented using the economic resources measurement focus as defined below:

- The accompanying government-wide statements of net position and statements of activities utilize an economic resources measurement focus. The accounting objectives of this measurement focus are the determination of net position and the changes thereof. All assets and liabilities (whether current or noncurrent) associated with their activities are reported.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

NOTES TO THE FINANCIAL STATEMENTS

1. SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (CONTINUED)

In the fund financial statements, the current financial resources measurement focus is used as defined below:

- The governmental funds utilize a current financial resources measurement focus. Only current financial assets and liabilities are generally included on the balance sheets. The statements of revenues, expenditures, and changes in fund balances present sources and uses of available spendable financial resources during a given period. The statements use fund balances as the measure of available spendable financial resources at the end of the period.

Basis of Accounting

In the government-wide statements of net position and statements of activities, the Authority's activities are presented using the accrual basis of accounting. Under the accrual basis of accounting, revenues are recognized when earned and expenses are recorded when the liability is incurred or economic assets are used. Revenues, expenses, gains, losses, assets, and liabilities resulting from exchange and exchange-like transactions are recognized when the exchange transaction takes place.

In the fund financial statements, the governmental funds are presented on the modified accrual basis of accounting. Under the modified accrual basis of accounting, revenues are recognized when measurable and available. The Authority considers all revenue to be available if the revenue is collected within 60 days after year-end. Expenditures (including capital outlay) are recorded when the related fund liability is incurred, except for principal and interest, which are reported when due.

Accounting Policies

The Authority's significant accounting policies related to the following basic financial statement categories are summarized below:

Cash Equivalents

The Authority considers all liquid debt instruments purchased with a maturity of three months or less and money market mutual funds to be cash equivalents. At June 30, 2024 and 2023, the Authority did not own any cash equivalents.

Investment and Investment Income

Investments in U.S. Treasuries and negotiable certificates of deposit are carried at fair value. Fair value is determined from quoted market prices. Investment income consists of interest income and the net change for the year in the fair value of the investments carried at fair value.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

NOTES TO THE FINANCIAL STATEMENTS

1. SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (CONTINUED)

Capital Assets

The Authority generally capitalizes purchased or constructed assets with useful lives of more than one year and having costs of \$7,500 or greater. Capital assets are valued at historical cost or estimated historical cost. The Authority has chosen the straight-line depreciation method for its capital assets based on the estimated useful lives of the capital assets. The Authority depreciates the buildings and structures currently on its books over a 25-year useful life.

Use of Estimates

The preparation of financial statements in conformity with GAAP requires management to make estimates and assumptions that affect the reported amounts of assets and deferred outflows of resources, liabilities and deferred inflows of resources, and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenues and expenses during the reporting period. Actual results could differ from those estimates.

Income Taxes

The Authority is a governmental agency organized under the laws of the state of Oklahoma and is not subject to federal or state income taxes.

Deferred Inflows of Resources

The Authority reports an acquisition of net position that is applicable to a future reporting period as deferred inflows of resources in a separate section of its balance sheets - governmental funds. Deferred inflows of resources of \$5,179,040 and \$5,117,843 at June 30, 2024 and 2023, respectively, were comprised of ad valorem taxes, related-party balances, and deferred interest payments to be received in future reporting periods.

Net Position/Fund Balance Classifications

Government-Wide Statements

The net position of the Authority is classified in three components:

- **Net Investments in Capital Assets** - Represents the net investment in capital assets less the debt associated with the capital assets.
- **Restricted** - Represents net position that has been restricted by outside sources, including the City and relevant Oklahoma Statutes. The net position has been restricted for debt service and economic development.
- **Unrestricted** - Represents the remaining net position, if any.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

NOTES TO THE FINANCIAL STATEMENTS

1. SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (CONTINUED)

Fund Financial Statements

GASB Statement No. 54, *Fund Balance Reporting and Governmental Fund Type Definitions*, defines fund balances for presentation as follows:

- **Nonspendable** - Includes amounts that cannot be spent because they are either (a) not in spendable form or (b) legally or contractually required to be maintained intact. This would include items not expected to be converted to cash.
- **Restricted** - Consists of fund balance amounts with constraints placed on the use of the resources either by (a) external groups, such as creditors, grantors, contributors, or laws or regulations of other governments or (b) law through constitutional provisions or enabling legislation.
- **Committed** - Reflects specific purposes pursuant to constraints imposed by formal action of the Authority's highest level of decision-making authority (the Board of Trustees). Also, such constraints can only be removed or changed by the same form or formal action.
- **Assigned** - Reflects fund balance amounts that are constrained by the Authority's intent to be used for specific purposes but meet neither the restricted nor committed forms of constraint.
- **Unassigned** - Represents fund balance amounts that have not been assigned to other funds and have not been restricted, committed, or assigned to specific purposes.

Based on the above definitions, the components of the Authority's fund balances are as follows:

- **Restricted** - The Skirvin Hotel Project activities in TIF 2 are reflected as restricted due to conditions imposed by either financing documents or the City's approvals. TIF 2 is now being administered by the City. The remaining fund balance in TIF is reflected as restricted for other TIF activities.

Program Revenues

The primary sources of program revenues for the Authority are capital contributions and interest income earned on investments restricted for economic development activity.

Annual Budget-to-Actual Comparison

The Authority is not required to and does not prepare a legally adopted annual budget. Therefore, an annual budget-to-actual comparison, as required by GASB 34, is not presented as "required supplementary information."

The Authority does prepare a budget-to-actual expenditure comparison (project life-to-date) that has been presented as other information.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

NOTES TO THE FINANCIAL STATEMENTS

1. SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES (CONTINUED)

New Accounting Pronouncements Adopted in Fiscal Year 2024

The Authority implemented GASB Statement No. 100, *Accounting Changes and Error Corrections*. The objective of this Statement is to enhance accounting and financial reporting requirements for accounting changes and error corrections to provide more understandable, reliable, relevant, consistent and comparable information for making decisions or assessing accountability. This standard did not have a material impact on the Authority's financial statements.

2. DEPOSITS AND INVESTMENTS

Deposits

Custodial credit risk is the risk that in the event of the failure of a counterparty the Authority will not be able to recover the value of its investments. Deposits are exposed to custodial credit risk if they are uninsured and uncollateralized. Investment securities are exposed to custodial credit risk if they are uninsured, are not registered in the name of the Authority, or are held by a counterparty or the counterparty's trust department but not in the name of the Authority.

The policy of the Authority is to require all deposits be maintained in accounts that are fully insured or collateralized. As of June 30, 2024 and 2023, the Authority had no uninsured or uncollateralized deposits. The Authority requires investment collateral be held by a third-party custodian with whom the Authority has a current custodial agreement in the Authority's name.

Carrying values of the deposits of the Authority at June 30, 2024 and 2023 were \$1,853,320 and \$18,628,767, respectively, while bank balances were \$2,230,308 and \$18,655,638, respectively.

Investments

The Authority had investments of \$3,238,540 consisting of U.S. Treasuries and negotiable certificates of deposit as of June 30, 2024. The Authority had no investments at June 30, 2023.

The Authority categorizes its fair value measurements within the fair value hierarchy established by GAAP. The hierarchy is based on valuation inputs used to measure the fair value of the asset. Level 1 inputs are quoted prices in an active market for identical assets, Level 2 inputs are significant other observable inputs, and Level 3 inputs are significant unobservable inputs.

At June 30, 2024, the Authority had the following investments and maturities:

<u>Type</u>	<u>Fair Value</u>	<u>Maturities in Years</u>		<u>Fair Value Hierarchy</u>
		<u>Less than 1</u>	<u>1-5</u>	
US treasury obligations	\$ 493,540	\$ 493,540	\$ --	Level 2
Certificates of deposit	2,745,000	1,995,000	750,000	N/A
Investments per statement of net position	<u>\$ 3,238,540</u>	<u>\$ 2,488,540</u>	<u>\$ 750,000</u>	

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
(A Component Unit of the City of Oklahoma City, Oklahoma)

NOTES TO THE FINANCIAL STATEMENTS

2. DEPOSITS AND INVESTMENTS (CONTINUED)

Credit risk is the risk that an issuer or other counterparty to an investment will not fulfill its obligations. Investing is performed in accordance with the Authority’s investment policy and complying with state statutes. The Authority may be invested in: 1) direct obligations of the United States government, its agencies or instrumentalities to the payment of which the full faith and credit of the government of the United States is pledged; 2) bonds or other legally created general obligations of the state of Oklahoma, or an agency or political subdivision of the State of Oklahoma; 3) Federal agency or U.S. government-sponsored enterprise obligations, participations, or other instruments, including those insured by or fully guaranteed as principal and interest by federal agencies or U.S. government-sponsored enterprises; 4) collateralized or insured certificates of deposit and other evidence of deposits at banks, savings banks, savings and loan associations and credit unions located in Oklahoma when secured by appropriate collateral or fully insured certificates of deposit at banks, savings banks, savings and loan associations and credit unions located outside of Oklahoma; and 5) savings accounts or savings certificates of savings and loan associations, banks, and credit unions, to the extent the accounts are fully insured by the Federal Deposit Insurance Corporation.

Interest rate risk is the risk that changes in interest rates will adversely affect the fair value of an investment. Investments held for longer periods are subject to increased risk of adverse interest rate changes. The policy provides that, to the extent practicable, investments are matched with anticipated cash flows. Investments are diversified to minimize the risk of loss resulting from overconcentration of assets in a specific maturity period, a single issuer or an individual class of securities.

Concentration of credit risk is the risk of loss attributed to the magnitude of the investment in a single issuer. The Authority’s investment policy stipulates no more than 75% of the total funds available for investment may be placed in any one authorized institution. Of the funds invested, up to 100% may be invested with a maturity date of two years or less, up to 30% may be invested with a maturity of two to three years, up to 10% may be invested with a maturity of three to five years, and up to 5% may be invested with a maturity of five to 30 years.

3. DUE FROM OTHER GOVERNMENTS

Amounts due to the Authority from other governments at June 30 consisted of the following:

	2024	2023
TIF 1 funds held by the Oklahoma County Treasurer	\$ 398,433	\$ 353,717
Due from Urban Renewal	4,408,181	4,408,181
	\$ 4,806,614	\$ 4,761,898

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
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NOTES TO THE FINANCIAL STATEMENTS

4. NOTES RECEIVABLE

Page Woodson Development, LLC

In March 2016, the Authority agreed to loan Page Woodson Development, LLC up to \$9,150,000. The loan is secured with the Authority’s Subordinated Mortgage and bears interest at the rate of 0.25% with interest payable annually. The note matures March 18, 2051, at which time all principal and accrued unpaid interest is due. The agreement provides for a forgiveness by the Authority clause where the Authority in its sole discretion shall have the right to forgive all or a portion of the loan on or after March 18, 2036 and the agreement requires the payment of minimum tax by Page Woodson Development, LLC. At June 30, 2024 and 2023, \$5,650,000 was advanced under this loan agreement. An allowance has been recorded the equal to the amount of minimum tax paid to date totaling \$1,375,928 and \$963,754, at June 30, 2024 and 2023, respectively. Interest income of \$14,124 was recognized during the years ended June 30, 2024 and 2023 in the accompanying government-wide statements of activities.

Future principal and interest payments on the notes as of June 30, 2024 are as follows:

Year Ended June 30,	Page Woodson TIF Loan Receivable	
	Principal	Interest
2025	\$ --	\$ --
2026	--	--
2027	--	--
2028	--	--
2029	--	--
2030 - 2034	--	--
2035 - 2039	--	--
2040 - 2044	--	--
2045 - 2049	--	--
2050 - 2051	5,650,000	469,995
	\$ 5,650,000	\$ 469,995

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
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NOTES TO THE FINANCIAL STATEMENTS

5. CAPITAL ASSETS AND ASSETS HELD FOR SALE

Capital assets activity for the periods ended June 30, 2024 and 2023 was:

<u>2024</u>	<u>Beginning Balance</u>	<u>Additions</u>	<u>Disposals</u>	<u>Ending Balance</u>
Non-depreciable capital assets				
Land	\$ 1,449,557	\$ --	\$ (130,000)	\$ 1,319,557
Construction in progress	9,943,516	489,355	--	10,432,871
Brockway Center (held for sale)	401,295	--	--	401,295
Total non-depreciable capital assets	<u>11,794,368</u>	<u>489,355</u>	<u>(130,000)</u>	<u>12,153,723</u>
Buildings	7,277,811	--	--	7,277,811
Less accumulated depreciation	<u>(4,730,582)</u>	<u>(291,113)</u>	<u>--</u>	<u>(5,021,695)</u>
Buildings, net	<u>2,547,229</u>	<u>(291,113)</u>	<u>--</u>	<u>2,256,116</u>
Total capital assets and assets held for sale, net	<u>\$ 14,341,597</u>	<u>\$ 198,242</u>	<u>\$ (130,000)</u>	<u>\$ 14,409,839</u>
<u>2023</u>				
Non-depreciable capital assets				
Land	\$ 506,891	\$ 942,666	\$ --	\$ 1,449,557
Construction in progress	--	9,943,516	--	9,943,516
Brockway Center (held for sale)	401,295	--	--	401,295
Total non-depreciable capital assets	<u>908,186</u>	<u>10,886,182</u>	<u>--</u>	<u>11,794,368</u>
Buildings	7,277,811	--	--	7,277,811
Less accumulated depreciation	<u>(4,439,463)</u>	<u>(291,119)</u>	<u>--</u>	<u>(4,730,582)</u>
Buildings, net	<u>2,838,348</u>	<u>(291,119)</u>	<u>--</u>	<u>2,547,229</u>
Total capital assets and assets held for sale, net	<u>\$ 3,746,534</u>	<u>\$ 10,595,063</u>	<u>\$ --</u>	<u>\$ 14,341,597</u>

Buildings

The Authority owns two buildings as of June 30, 2023. One is the Cytovance project, of which the Authority funded a portion of the construction. The building was completed during the year ended June 30, 2007, and depreciation commenced at that time. The building is being depreciated over a 25-year life using the straight-line method of depreciation. Depreciation expense was \$291,113 for the year ended June 30, 2024 and \$291,119 for the year ended June 30, 2023.

The second is the Brockway Center (the Center), a landmark in Oklahoma City with historical significance. The Authority purchased this building in October 2019 for approximately \$401,000 in order to prevent the Center from being demolished. The Authority does not have any plans to use the Center in its operations and will send out requests for proposals for a buyer

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
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NOTES TO THE FINANCIAL STATEMENTS

5. CAPITAL ASSETS AND ASSETS HELD FOR SALE (CONTINUED)

that will preserve the site. Because the Center is being held for sale, no depreciation was taken during the year ended June 30, 2024 or 2023.

Land

During the year ended June 30, 2006, the City contributed the land and building of the Skirvin Hotel to the Authority. The government-wide financial statements accounted for the transaction as contributed capital assets with an appraised value of \$130,000 for the land. The authority leased the land beneath the Skirvin Hotel to Skirvin Partners, LLC, as more fully described in Note 11. During the year ended June 30, 2024, the Authority recognized the disposal of this land.

In September 2019, the Authority purchased land located at the southeast corner of North E.K. Gaylord Boulevard and Northwest 4th Street for approximately \$4,400,000. After the purchase, the property was transferred to Urban Renewal, a related party. Urban Renewal has conveyed a portion of the land to the Oklahoma City Redevelopment Corporation (OCRC) pursuant to a contract for sale of the land and obligations for a certain redeveloper to develop the land. The redeveloper has a lease agreement with OCRC. OCRC will give the lease payments to Urban Renewal, who will use these payments against the purchase price. The remaining land remains in title with Urban Renewal to be leased for interim use in connection with the adjacent property.

The Authority has recognized a receivable from other governments at June 30, 2024 and 2023 for an amount equal to the full purchase price.

During the year ended June 30, 2023, the Convergence Project began. Through the agreements the Authority will own the land airspace rights and Innovation Hall building once completed. Land airspace rights were transferred to the Authority from the Developer of the project valued at \$942,666.

Construction in progress

During the year ended June 30, 2023, construction started on Innovation Hall, which falls within the Convergence Project. The Authority transferred \$489,355 and \$9,943,516 to the developer of the Innovation District related to the building of Innovation Hall during the years ended June 30, 2024 and 2023, respectively.

6. PAYMENTS IN LIEU OF TAXES

In October 2011, a Supplemental Redevelopment Agreement was entered into by and among Urban Renewal, PHF, and the Toby Keith Foundation (TKF) for the development of OK Kids Korral. As part of the sale of the Research Park by PHF to the University of Oklahoma (OU) in October 2013, PHF assigned the OK Kids Korral Supplemental Redevelopment Agreement and the OK Kids Korral Ground Lease Agreement to OU. As part of the Supplemental Redevelopment Agreement and the Ground Lease Agreement, TKF is subject to payments in lieu of ad valorem taxes (PILOT). These payments are payable to the Authority on December 31 beginning in the year of completion of the improvements and each year thereafter.

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NOTES TO THE FINANCIAL STATEMENTS

6. PAYMENTS IN LIEU OF TAXES (CONTINUED)

The OK Kids Korral was completed in November 2013, and the Authority recognized \$50,000 in PILOT on behalf of OK Kids Korral for the years ended June 30, 2024 and 2023.

The donation of the GE Global Research Building to Oklahoma State University in 2020 triggered a PILOT due based on a covenant in the land deed and will be due annually from any nonprofit owner of the property until TIF 11 expires. The Authority received \$531,820 and \$509,347 in PILOT in the years ended June 30, 2024 and 2023, respectively.

In 2018, OU Medicine, Inc., acquired a series of hospitals and medical facilities around Oklahoma City. As a result of that transaction, OU Medicine, Inc., agreed to pay an annual PILOT for up to ten years related to the acquired facilities in the Innovation District TIF. The Authority receives a set amount of \$1,165,636 annually and received that amount in each of the years ended June 30, 2024 and 2023.

As described in Note 4, In March 2016, the Authority entered into a loan agreement with Page Woodson Development, LLC, which included provisions for a minimum tax payment. The Authority recognizes the difference between the minimum payment due and ad valorem taxes received as a PILOT receivable. As of June 30, 2024 and 2023, this receivable totaled \$282,323 and \$281,455, respectively. The Authority received \$55,888 and \$0 in minimum tax payments in the years ended June 30, 2024 and 2023, respectively.

7. FUNDS HELD ON BEHALF OF OTHER GOVERNMENTS

In January 2022, the Authority entered into a master development agreement with the City and a developer related to the development of Innovation Hall and related infrastructure, a project approved by Oklahoma City voters in 2019 by passage of the Metropolitan Area Projects (MAPS 4) sales tax. The master development agreement provided for \$10,000,000 in MAPS 4 funds to be transferred from the City to the Authority to match up to \$10,000,000 raised from non-MAPS sources. In March 2023, the master development agreement was amended providing an additional \$1,103,300 of MAPS 4 funds to be transferred from the City to the Authority to help cover furnishings, fixtures and equipment for the Innovation Hall. At June 30, 2024 and 2023, the Authority reported \$570,429 and \$1,059,784, respectively, related to this agreement in funds held on behalf of other governments, pending events that trigger the release of the funds to match the private investment as required by the master development agreement.

In 2023, the Skirvin Hotel sold resulting in the repayment of the Skirvin Hotel note receivable and rent revenue required under the ground lease (see Note 13). The funds received from the sale are required to be paid to the City. At June 30, 2024 and 2023, the Authority owed the City \$0 and \$15,078,474, respectively, related to this transaction.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
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NOTES TO THE FINANCIAL STATEMENTS

8. INTERGOVERNMENTAL PAYABLE

The Authority entered into an agreement with the Oklahoma City Economic Development Trust (OCEDT) to receive assistance in development financing for the creation of the Convergence project inside of the Innovation District. The development will be for a major mixed-use project consisting of an office tower, building for research labs and office space, a parking garage, hotel, amenity deck, public realm open-air community environment and the building of the Innovation Hall. The loan was dated November 22, 2022 with a five year term for \$5,000,000. Repayment of the loan is based on future collections ad valorem tax receipts within the Innovation District. There is no interest and no set payment schedule, as such, each year the Authority will calculate the current payment due based on ad valorem tax receipts. As of June 30, 2024 and 2023, \$42,143 and \$0, respectively, were recorded as a current liability.

9. NET POSITION

The accompanying government-wide statements of net position reflect the following types of net position as of June 30:

- **Net Investment in Capital Assets** - Represents a balance of \$14,008,544 and \$13,940,302 for the years ended June 30, 2024 and 2023, respectively. The debt associated with capital assets had a balance of \$0 at June 30, 2024 and 2023. Assets held for sale of \$401,295 are excluded from net investments in capital assets in both 2024 and 2023.
- **Restricted** - Represents net position that has been restricted by outside sources. The net position restricted for economic development activities was \$9,336,038 and \$7,598,535 (restated) for June 30, 2024 and 2023, respectively.

10. AD VALOREM TAX REVENUE

Revenue is generated through apportionment of ad valorem tax increments collected within TIFs. The increment of ad valorem taxes, as defined by the *Oklahoma Local Development Act*, in excess of ad valorem taxes generated by the base assessed value of the TIF District may be apportioned and used to pay project costs authorized by the project plan. Taxes are levied annually on November 1 and are due one-half by December 31 and one-half by March 31. The taxes are collected and distributed by the Oklahoma County Treasurer. Monies not distributed to the Authority are maintained for the benefit of the Authority by the Oklahoma County Treasurer. Interest income is paid by the Oklahoma County Treasurer on monies collected and held for apportionment and distribution.

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NOTES TO THE FINANCIAL STATEMENTS

10. AD VALOREM TAX REVENUE (CONTINUED)

A summary of the ad valorem tax revenue for the years ended June 30 is as follows:

	TIF 1	TIF 7	TIF 11	TOTAL
2024				
Tax Year				
2019	\$ --	\$ 3,070	\$ --	\$ 3,070
2020	--	198	--	198
2021	--	240	--	240
2022	--	2,834	301,670	304,504
2023	--	619,119	115,126	734,245
	--	625,461	416,796	1,042,257
Interest received	--	11,325	7,547	18,872
Net change in tax receivable from Oklahoma County Treasurer	69,908	--	--	69,908
	\$ 69,908	\$ 636,786	\$ 424,343	\$ 1,131,037
	TIF 1	TIF 7	TIF 11	TOTAL
2023				
Tax Year				
2018	\$ --	\$ 2,838	\$ --	\$ 2,838
2019	--	--	11	11
2020	--	660	87,908	88,568
2021	--	1,856	251,154	253,010
2022	--	573,307	25,055	598,362
	--	578,661	364,128	942,789
Interest received	--	7,406	4,660	12,066
Net change in tax receivable from Oklahoma County Treasurer	(33,574)	--	--	(33,574)
	\$ (33,574)	\$ 586,067	\$ 368,788	\$ 921,281

11. LEASE AGREEMENT

The Authority has leased the land beneath the Skirvin Hotel to Skirvin Partners, LLC under a 99-year lease agreement. Payments under the lease are variable and are calculated at 1% of the rent capitalization value of the Skirvin Hotel and the land, calculated annually by capitalizing the net operating income using a rate of 8.5%. Skirvin Partners, LLC has the option to purchase the land at the end of the lease.

All rents collected under the lease agreement are to be used to repay Urban Renewal for funds loaned to the Authority, not to exceed \$1,500,000. The balance of rents collected will be retained by the Authority pending authorization and direction for the use of the revenue by the City Council or its designee. Rent payment is due annually from the Skirvin Hotel, which is based on cash flows of the entity for the fiscal year.

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NOTES TO THE FINANCIAL STATEMENTS

11. LEASE AGREEMENT (CONTINUED)

During 2019, a joint resolution was passed by the City Council and the Authority designating all annual receipts associated with this agreement to be paid to the City, through the Oklahoma City Economic Development Trust (OCEDT), for the purpose of servicing debt issued for the purpose of the Omni Hotel Funding Plan. Under this joint resolution, the Authority is directed to transfer the accumulated balance of any monies collected by the Authority to OCEDT, net of any contractually required retainage as invoiced by the City. During the year ended 2023, no balances were transferred to OCEDT under this joint resolution. In 2023, the Authority did record \$15,078,474 payable to the City for funds received as a result of the sale of the Skirvin Hotel. During the year ended 2024, \$15,078,474 was transferred to OCEDT under this joint resolution.

Rent revenues recognized under the lease agreement were \$0 and \$5,040,403 for the years ended June 30, 2024 and 2023, respectively. Fiscal year 2023 revenues were a result of the sale of the Skirvin Hotel and termination of the lease.

12. RELATED-PARTY TRANSACTIONS

Urban Renewal

At June 30, 2024 and 2023, the Authority owed \$13,730 and \$60,081, respectively, of TIF funds to Urban Renewal for administrative costs.

As described in Note 5, during the 2020 fiscal year, the Authority purchased land located at the southeast corner of North E.K. Gaylord Boulevard and Northwest 4th Street for approximately \$4,400,000 for the purpose of consolidation with adjacent property and redevelopment in conjunction with Urban Renewal. The land was transferred to Urban Renewal and the entire balance is included as a receivable from other governments in the accompanying statements of net position and balance sheets - governmental funds. A portion of the land has been conveyed to the Oklahoma City Redevelopment Corporation ("OCRC"), a non-profit entity related to Urban Renewal, and will be conveyed to a redeveloper via a long term ground lease. OCRC will receive those lease payments and provide them to Urban Renewal. Another portion of the land remains with Urban Renewal and will be leased to the same redeveloper for use as a parking lot to accompany the adjacent development on an interim basis. Urban Renewal will receive those lease payments as well. Urban Renewal will use these lease payments to repay to the Authority for a portion of the balance owed. The remainder will be paid to the Authority upon Urban Renewal's sale of the portion of the land that Urban Renewal owns once the interim lease for the parking lot is terminated and the opportunity for the full development of that portion of the land is present. At June 30, 2024 and 2023, the receivable is classified as noncurrent in the accompanying statements of net position. As of the date of the independent auditor's report, the balance owed remains due from Urban Renewal.

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NOTES TO THE FINANCIAL STATEMENTS

13. RISK MANAGEMENT

The Authority is exposed to various risks of loss related to torts; theft of, damage to and destruction of assets; errors and omissions; injuries to employees; and natural disasters. The significant losses are covered by commercial insurance policies. There have been no significant reductions in insurance coverage. Settlement amounts have not exceeded insurance coverage for the current year or the three prior years.

OTHER INFORMATION

OKLAHOMA CITY REDEVELOPMENT AUTHORITY
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BUDGET-TO-ACTUAL EXPENDITURE COMPARISON (PROJECT LIFE-TO-DATE)

June 30, 2024

<u>TIF 1</u>	<u>Category A</u>	<u>Category B</u>	<u>Category C</u>		
Total Budget	\$ 22,000,000	\$ 23,000,000	\$ 2,000,000		
Expenditures					
For years 2013 through 2024	(5,090,034)	(611,515)	(577,751)		
For years 2012 and prior	<u>(9,720,711)</u>	<u>(22,388,485)</u>	<u>(1,422,249)</u>		
Budget amount remaining	<u>\$ 7,189,255</u>	<u>\$ --</u>	<u>\$ --</u>		
<u>TIF 7</u>	<u>Category A</u>	<u>Category B</u>	<u>Category C</u>	<u>Category D</u>	
Total Budget	\$ 4,000,000	\$ 5,000,000	\$ 1,000,000	\$ 11,000,000	
Expenditures					
For years 2013 through 2024	(255,600)	(5,000,000)	(1,000,000)	(2,114,488)	
For years 2012 and prior	<u>--</u>	<u>--</u>	<u>--</u>	<u>(504,816)</u>	
Budget amount remaining	<u>\$ 3,744,400</u>	<u>\$ --</u>	<u>\$ --</u>	<u>\$ 8,380,696</u>	
<u>TIF 11</u>	<u>Category A</u>	<u>Category B</u>	<u>Category C</u>	<u>Category D</u>	<u>Category E</u>
Total Budget	\$ 17,000,000	\$ 9,000,000	\$ 3,000,000	\$ 5,000,000	\$ 18,000,000
Expenditures					
2024	--	(184,172)	(103,774)	--	(263,841)
2023	--	(6,031,799)	(83,005)	--	(307,537)
2022	--	--	--	--	(5,225)
2021	--	--	--	--	(7,487)
2020	--	--	--	--	(2,650)
2019	--	--	--	--	--
2018	<u>--</u>	<u>--</u>	<u>--</u>	<u>--</u>	<u>(2,110)</u>
Budget amount remaining	<u>\$ 17,000,000</u>	<u>\$ 2,784,029</u>	<u>\$ 2,813,221</u>	<u>\$ 5,000,000</u>	<u>\$ 17,411,150</u>
<u>TIF 17</u>	<u>Category A</u>	<u>Category B</u>	<u>Category C</u>	<u>Category D</u>	<u>Category E</u>
Total Budget	\$ --	\$ --	\$ --	\$ 2,500,000	\$ --
Expenditures					
2024	<u>--</u>	<u>--</u>	<u>--</u>	<u>--</u>	<u>--</u>
Budget amount remaining	<u>\$ --</u>	<u>\$ --</u>	<u>\$ --</u>	<u>\$ 2,500,000</u>	<u>\$ --</u>

In addition, interest and costs of issuance of bonds to finance the project activities are authorized but not budgeted. The schedules above only reflect budgeted TIF categories.

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NOTES TO BUDGET-TO-ACTUAL EXPENDITURE COMPARISON (PROJECT LIFE-TO-DATE)

June 30, 2024

1. BASIS OF PRESENTATION

The budget-to-actual comparisons have been prepared on the accrual basis of accounting. All expenditures in the report are recorded when paid or contractually due. The report is not adjusted for deferred inflows or outflows.

2. EXPENDITURES

TIF 1

TIF 1 expenses incurred by the Authority are classified into three basic categories. The categories defined by the project plan, as amended May 16, 2001, November 30, 2002, August 1, 2006, and December 20, 2016, are as follows:

Category A: Commercialization of Research and Technology - The cost of planning; financing; assistance in development financing; and acquiring and constructing research, development, and technological application facilities, business incubators, business accelerators, complementary commercial facilities, and other public research park improvements by the Authority, a public trust, and Urban Renewal, a public body corporate.

Category B: Place-Making - The cost of planning; financing; assistance in development financing; acquiring, constructing, and developing public spaces (including meeting space, gathering space, work space, community centers, conference facilities, arts and cultural space, entertainment space, open space, and green space), public ways, parks, parking facilities, and complementary commercial and retail facilities; and supporting public improvements by the Authority, a public trust, and Urban Renewal, a public body corporate.

Category C: Implementation - The cost of implementing and administering the project plan incurred or to be incurred by the Authority, a public trust, and Urban Renewal, a public body corporate, including, but not limited to, payment and/or reimbursement of costs advanced in connection with the preparation and approval of the project and project plan, administrative costs, organizational costs, professional service costs, and financing costs and fees.

TIF 7

The August 1, 2006 plan amendment added TIF 7 to the project plan. Also amended December 20, 2016, TIF 7 project cost categories follow the definitions above with the addition of Category D, defined as follows:

Category D: Supporting Development - The costs of implementing the economic development and redevelopment activities of the Authority, a public trust, in accordance with the Harrison-Walnut Urban Renewal Plan and this project plan, including assistance in development financing; contracts for implementation activities, including relocation and site preparation; and the negotiation, preparation, execution, and implementation of development and redevelopment agreements, including agreements for financing, property acquisition, construction of public improvements, and land disposition, as authorized by the Oklahoma Urban Renewal Law, 11 O.S. § 38-101, et seq.

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NOTES TO BUDGET-TO-ACTUAL EXPENDITURE COMPARISON (PROJECT LIFE-TO-DATE)

June 30, 2024

2. EXPENDITURES (CONTINUED)

TIF 11

The December 20, 2016 plan amendment added TIF 11 to the project plan. TIF 11 cost categories follow the definitions above with the addition of Category E, defined as follows:

Category E: Specific Revenue Source for Public Entities for Enhanced Education, Skills Training Programs, Internships, and Entrepreneurial Support - The provision of a specific revenue source from apportioned tax increments for other public entities in the area in order to provide enhanced education (including emphasis on science, technology, engineering, arts, and mathematics - sometimes referred to as STEAM); skills training programs; intern programs; workforce development; and entrepreneurial support for the new employment to be generated by the project. Okla. Const. Art. 10, § 6C; 62 O.S. § 853(9), 14(e), 14(i); and § 854(4).

TIF17

The March 24, 2023 plan amendment added TIF 17 to the project plan. TIF 17 costs are limited to and follow the definition above for Category D: Supporting Development.

Tax increments from the TIF Districts can be spent for project costs throughout the project area. Project costs remaining unpaid upon the expiration of TIF District may be paid from increments of the remaining TIF District(s).

INDEPENDENT AUDITOR'S REPORT ON INTERNAL CONTROL OVER FINANCIAL REPORTING AND ON COMPLIANCE AND OTHER MATTERS BASED ON AN AUDIT OF THE FINANCIAL STATEMENTS PERFORMED IN ACCORDANCE WITH *GOVERNMENT AUDITING STANDARDS*

Board of Trustees

Oklahoma City Redevelopment Authority

Oklahoma City, Oklahoma

We have audited, in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States, the financial statements of the governmental activities and each major fund of the Oklahoma City Redevelopment Authority (Authority), a component unit of the City of Oklahoma City, Oklahoma (City), as of for the year ended June 30, 2024 and 2023, and the related notes to the financial statements, which collectively comprise the Authority's basic financial statements, and have issued our report thereon dated November 21, 2023.

Report on Internal Control Over Financial Reporting

In planning and performing our audits of the financial statements, we considered the Authority's internal control over financial reporting (internal control) as a basis for designing audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the Authority's internal control. Accordingly, we do not express an opinion on the effectiveness of the Authority's internal control.

A *deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A *material weakness* is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected, on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses or significant deficiencies may exist that were not identified.

Report on Compliance and Other Matters

As part of obtaining reasonable assurance about whether the Authority's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts and grant agreements, noncompliance with which could have a direct and material effect on the determination of financial statement amounts. However, providing an opinion on compliance with those provisions was not an objective of our audits and, accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

Purpose of This Report

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the Authority's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the Authority's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

Allen, Gibbs & Houlik, L.L.C.

CERTIFIED PUBLIC ACCOUNTANTS

Wichita, KS
November 21, 2023

Board of Trustees
Oklahoma City Redevelopment Authority
Oklahoma City, Oklahoma

We are pleased to present this report related to our audit of the basic financial statements of the Oklahoma City Redevelopment Authority (the Authority) as of and for the year ended June 30, 2024. This report summarizes certain matters required by professional standards to be communicated to you in your oversight responsibility for the Authority's financial reporting process.

This report is intended solely for the information and use of the Board of Trustees and management, and is not intended to be, and should not be, used by anyone other than these specified parties.

Auditing Standards generally accepted in the United States of America (AU-C 260, *The Auditor's Communication With Those Charged With Governance*) require the auditor to promote effective two-way communication between the auditor and those charged with governance. Consistent with this requirement, the following summarizes our responsibilities regarding the basic financial statement audit as well as observations arising from our audit that are significant and relevant to your responsibility to oversee the financial and related compliance reporting process.

This letter includes other comments and suggestions with respect to matters that came to our attention in connection with our audit of the Authority's financial statements. These items are offered as constructive suggestions to be considered part of the ongoing process of modifying and improving the Authority's practices and procedures.

Our Responsibilities with Regard to the Financial Statement and Compliance Audit

Our responsibilities under auditing standards generally accepted in the United States of America and *Government Auditing Standards* issued by the Comptroller General of the United States have been described to you in our arrangement letter dated June 14, 2024. Our audit of the basic financial statements does not relieve management or those charged with governance of their responsibilities, which are also described in that letter

Overview of the Planned Scope and Timing of the Financial Statement Audit

We have issued a separate communication dated June 14, 2024, regarding the planned scope and timing of our audit and identified significant risks. We made no significant changes to the scope or timing of our procedures.

Accounting Policies and Practices

Preferability of Accounting Policies and Practices - Under generally accepted accounting principles, in certain circumstances, management may select among alternative accounting practices. In our view, in such circumstances, management has selected the preferable accounting practice.

Adoption of, or Change in, Accounting Policies - Management has the ultimate responsibility for the appropriateness of the accounting policies used by the Authority. The Authority did not adopt any significant new accounting policies, nor have there been any changes in existing significant accounting policies during the current period.

Significant Accounting Policies - We did not identify any significant accounting policies in controversial or emerging areas for which there is a lack of authoritative guidance or consensus.

Significant Unusual Transactions - We did not identify any significant unusual transactions.

Management's Judgments and Accounting Estimates - Accounting estimates are an integral part of the preparation of financial statements and are based upon management's current judgment. The process used by management encompasses their knowledge and experience about past and current events, and certain assumptions about future events. You may wish to monitor throughout the year the process used to determine and record these accounting estimates. The following summarizes the significant accounting estimates reflected in the Authority's basic financial statements.

- Allowances for uncollectible notes receivable - The allowance for doubtful accounts is set by management based on knowledge of the note receivable agreement and repayment terms. We reviewed management's estimate for the allowance for doubtful accounts and reviewed the reasonableness and the process used to calculate it.

Audit Adjustments and Uncorrected Misstatements

There was one audit adjustment proposed by us and recorded by management to record the disposal of land associated with the Skirvin Hotel sale. This increased expenses and reduced capital assets by \$130,000.

We identified the following uncorrected misstatements that management has concluded are not, individually or in the aggregate, material to the financial statements. We agree with management's conclusion in that regard. Uncorrected misstatements or matters underlying these uncorrected misstatements could potentially cause future period financial statements to be materially misstated, even if we conclude that the uncorrected misstatements are immaterial to the financial statements under audit.

- A prior period correction to record the disposal of land associated with the Skirvin Hotel sale in the Authority's fiscal year 2023. This entry would reduce current year expenses and decrease beginning net position at the government wide level by \$130,000.
- An adjustment to reduce administrative expenses reimbursed to OCURA in the amount of \$3,686 in the TIF Fund.
- An adjustment to record additional Category B TIF expenses of \$15,820 for an invoice that was not properly included in fiscal year 2024 in the TIF Fund.

Management Representations

In connection with our audit procedures, we have obtained a written management representation letter. This representation letter constitutes written acknowledgments by management that it has the primary responsibility for the fair presentation of the financial statements in conformity with generally accepted accounting principles and also includes the more significant and specific oral representations made by officers and employees during the course of the audit. The letter is intended to reduce the possibility of misunderstandings between us and the Authority and reminds the signing officers to consider seriously whether all material liabilities, commitments and contingencies or other important financial information have been brought to our attention.

Other Information Included in Annual Reports

Our responsibility for other information included in annual report is to read the information and consider whether its content or the manner of its presentation is materially inconsistent with the financial information covered by our auditor's report, whether it contains a material misstatement of fact or whether the other information is otherwise misleading. We read the Authority's Budget-to-Actual

Expenditure Comparison and related notes. We did not identify material inconsistencies with the audited basic financial statements.

Observations About the Audit Process

We did not discuss with management any alternative treatments within generally accepted accounting principles for accounting policies and practices related to material items during the current audit year; we encountered no disagreements with management over the application of significant accounting principles, the basis for management's judgments on any significant matters, the scope of the audit or significant disclosures to be included in the financial statements; we are not aware of any consultations management had with other accountants about accounting or auditing matters; no significant issues arising from the audit were discussed or the subject of correspondence with management; we did not encounter any difficulties in dealing with management relating to the performance of the audit; and we did not encounter any significant and difficult or contentious matters that required consultation outside the engagement team.

Shared Responsibilities for Independence

Independence is a **joint responsibility** and is managed most effectively when management, audit committees, and audit firms work together in considering compliance with AICPA and *Government Accountability Office* (GAO) independence rules. For Allen, Gibbs & Houlik, L.C. (AGH) to fulfill its professional responsibility to maintain and monitor independence, management, the audit committee, and AGH each play an important role.

Our Responsibilities

- AICPA and GAO rules require independence both of mind and in appearance when providing audit and other attestation services. AGH is to ensure that the AICPA and GAO's General Requirements for performing non-attest services are adhered to and included in all letters of engagement.
- Maintain a system of quality control over compliance with independence rules and firm policies.

The Authority's Responsibilities

- Timely inform AGH, before the effective date of transactions or other business changes, of the following:
 - New affiliates, directors, officers, or persons in financial reporting and compliance oversight roles.
 - Changes in the reporting entity impacting affiliates such as partnerships, related entities, investments, joint ventures, component units.
- Provide necessary affiliate information such as new or updated structure charts, as well as financial information required to perform materiality calculations needed for making affiliate determinations.
- Understand and conclude on the permissibility, prior to the Authority and its affiliates, officers, directors, or persons in a decision-making capacity, engaging in business relationships with AGH.
- Not entering into arrangements of nonaudit services resulting in AGH being involved in making management decisions on behalf of the Authority.
- Not entering into relationships resulting in AGH, AGH covered persons or their close family members, temporarily or permanently acting as an officer, director, or person in an accounting, financial reporting or compliance oversight role at the Authority.

Other Matters

Cybersecurity - Effective cybersecurity risk management continues to be more important than ever in today's environment. Those charged with governance and executive management (the governance team) face an enormous challenge: to oversee how the organization manages cybersecurity risk.

An effective cybersecurity risk management program includes assessments of your comprehensive risk, controls and vulnerabilities to provide reasonable, but not absolute, assurance that material breaches are prevented or detected, and mitigated in a timely manner. The combined effects of an organization's dependency on IT, the complexity of IT networks and business applications, extensive reliance on third parties and human nature (i.e., susceptibility to social engineering) are only likely to increase the need for effective cybersecurity risk management programs.

As a best practice, we encourage executive management to be intimately involved with the risk management program and to share the results with the governance team.

Future Accounting Topics - The *Government Accounting Standards Board (GASB)* has issued several statements not yet implemented by the Authority. The Authority's management has not yet determined the effects these statements might have on the Authority's financial statements. However, the Authority plans to implement all standards by the required dates. Listed below are the issued GASB statements that have not yet been adopted:

- GASB Statement No. 101, *Compensated Absences*, better meets the information needs of financial statement users by updating the recognition and measurement guidance for compensated absences. This is achieved by aligning the recognition and measurement guidance under a unified model and by amending certain previously required disclosures. The provisions of this statement are effective for financial statements for the Authority's fiscal year ending June 30, 2025.
- GASB Statement No. 102, *Certain Risk Disclosures*, will improve financial reporting by providing users of the financial statements with essential information that currently is not often provided. The disclosures will provide users with timely information regarding certain concentrations or constraints and related events that have occurred or have begun to occur that make a government vulnerable to a substantial impact. As a result, users will have better information with which to understand and anticipate certain risks to a government's financial condition. The provisions of this statement are effective for financial statements for the Authority's fiscal year ending June 30, 2025.
- GASB Statement No. 103, *Financial Reporting Model Improvements*, improves five key components of the financial reporting model to enhance its effectiveness in providing information that is essential for decision making and assessing a government's accountability:
 - 1) Management Discussion and Analysis (MD&A) This statement requires that information presented in MD&A be limited to related topics discussed in five sections: 1) Overview of Financial Statements, 2) Financial Summary, 3) Detailed Analyses, 4) Significant Capital Asset and Long-Term Financing Activity and 5) Currently Known Facts, Decisions, or Conditions. MD&A should also explain why balances and results of operations changed and avoid unnecessary duplication by not repeating explanations that may be relevant to multiple sections. MD&A should continue to distinguish between the primary government and its discretely presented component units.

- 2) Unusual or Infrequent Items are described as transactions and other events that are either unusual in nature or infrequent in occurrence. These items are required to be displayed separately as the last presented flow of resources prior to the net change in resource flows in government-wide, governmental fund, and proprietary fund statements of resource flows
- 3) Presentation of Proprietary Fund statement of Revenues, Expenses and Changes in Fund Net position should continue to distinguish between operating and nonoperating revenues and expenses and provides additional guidance on determining nonoperating revenues and expenses. Additional subtotals are required to be presented to show a subtotal for “operating income (loss) and noncapital subsidies” prior to reporting other nonoperating revenues and expenses. Subsidies are defined within the statement.
- 4) Major Component Unit Information is required to be presented separately in the reporting entity’s statement of net position and statement of activities if it does not reduce the readability of the statements. If readability is impacted, combining statements of major component units should be presented after the fund financial statements.
- 5) Budgetary Comparison Information is required to be presented as required supplementary information (RSI) and variances between original and final budget amounts and variances between final and actual amounts are required to be presented. Explanation of significant difference must be presented in notes to the RSI.

The provisions of this statement are effective for financial statements for the Authority’s fiscal year ending June 30, 2026.

- GASB Statement No. 104, *Disclosure of Certain Capital Assets*, improves financial reporting by providing users of financial statements with essential information about certain types of capital assets in order to make informed decisions and assess accountability. Additionally, the disclosure requirements will improve consistency and comparability between governments. This statement requires certain capital assets to be disclosed separately in the capital assets note disclosures including lease assets, intangible right-to-use assets recognized in accordance with Public-Private and Public-Public Partnerships and Availability Payment Arrangements and subscription assets. In addition, intangible assets other than those three types must be disclosed separately by major class. This statement also requires additional disclosures on capital assets held for sale. The provisions of this statement are effective for financial statements for the Authority’s fiscal year ending June 30, 2026.

AGHUniversity Resources - As part of AGH’s ongoing commitment to serve as a trusted advisor, we offer these resources as a key part of the additional value AGH provides beyond the engagement itself:

- AGHUniversity.com - a full schedule of complimentary CPE or current and relevant topics and other updates to clients throughout the year. Free registration and webinars are available for the Authority’s staff and board members at aghuniversity.com. A sample of recent topics include Lease accounting; Become a destination employer: 5 factors you must get right; 6 steps to improving employee soft skills - Along with productivity and profitability; Measuring what matters in your 401(k) plan for recruitment, retention and reward; Cybersecurity: Protect your organization from cybercriminals; and 10 steps to prepare your business for a sale.
- AGH alerts and newsletters - This includes periodic mailings or emails to alert clients to new accounting standards or regulatory changes.

Closing

We will be pleased to respond to any questions you have about this report or set up an introductory meeting to discuss the other recommendations at no charge. We appreciate the opportunity to continue to be of service to the Oklahoma City Redevelopment Authority.

Allen, Gibbs & Houlik, L.C.

CERTIFIED PUBLIC ACCOUNTANTS

Wichita, KS
November 21, 2024

Mr. Kenton Tsoodle
Executive Director
Oklahoma City Redevelopment Authority
105 N. Hudson Avenue
Oklahoma City, Oklahoma, 73102

Internal Control Matters

We are pleased to present this letter of internal control observations for the Oklahoma City Redevelopment Authority (Authority) based on our audit of the financial statements for the year ended June 30, 2024.

In planning and performing our audit of the basic financial statements of the Authority as of June 30, 2024, and for the year then ended, in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States, we considered the Authority's internal control over financial reporting (internal control) as a basis for designing audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the basic financial statements, but not for the purpose of expressing an opinion on the effectiveness of the Authority's internal control. Accordingly, we do not express an opinion on the effectiveness of the Authority's internal control.

Our consideration of internal control was for the limited purpose described in the preceding paragraph and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies. Therefore, material weaknesses or significant deficiencies may exist that were not identified. However, as discussed below, we identified certain deficiencies in internal control that we consider to be control deficiencies.

A *deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A deficiency in design exists when (a) a control necessary to meet the control objective is missing, or (b) an existing control is not properly designed so that, even if the control operates as designed, the control objective would not be met. A deficiency in operation exists when a properly designed control does not operate as designed or when the person performing the control does not possess the necessary authority or competence to perform the control effectively.

A *material weakness* is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected, on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Following are descriptions of other identified deficiencies in internal control that we determined did not constitute significant deficiencies or material weaknesses:

Control Deficiencies Noted in Prior Years - Mitigating Controls in Place

As noted in the introductory section of this letter, a control deficiency exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. Compensating controls can mitigate the severity of a deficiency, but do not eliminate the deficiency. Management's corrective actions have included supplementing the controls and procedures with mitigating controls to help detect and prevent possible misstatements. While certain employees may have access to incompatible functions, resulting in a control deficiency, the deficiency in internal control is mitigated, reducing risk. We continue to report these to management as a reminder to remain diligent in ensuring that mitigating controls continue to function as designed. In the event of changes in personnel, policies or procedures, we recommend management re-evaluate whether the mitigating controls are still in place.

Segregation of Duties: One employee has administrative access to add, edit and delete vendor files. The Authority has separated processes and procedures related to vendor set-up and payments; however, due to system restraints, one person does need to be the administrator.

Mitigating controls includes a review of the system's audit trail report with each monthly financial statement review by the executive director that would allow the executive director to review that vendor changes were not done by the administrator and if changes were completed by the administrator review the change was appropriate.

Current Year Control Deficiency

While obtaining an understanding of internal control over wire transfer activity, we noted the Authority does limited wire transfers to external parties. If wire transfers were completed, it would be limited to a specific activity; however, procedures for performing wire transfers are not part of a formal written policy. We recommend the Authority formally document wire transfer procedures and controls in writing.

Other Recommendations

The Authority has not historically had significant capital asset activity. With the Innovation Campus Project underway, we recommend the Authority properly allocate the Innovation Campus Project construction in progress balances to the appropriate capital asset categories (i.e. building and furniture/equipment) to ensure the project is depreciated using useful lives that are reasonable for each asset category.

Conclusion

This communication is intended solely for the information and use of the Board of Trustees and management, and is not intended to be and should not be used by anyone other than these specified parties.

Allen, Gibbs & Houlik, L.C.
CERTIFIED PUBLIC ACCOUNTANTS

Wichita, KS
November 21, 2024

OKLAHOMA CITY REDEVELOPMENT AUTHORITY

TRUSTEES

J. Larry Nichols
Chairman

James R. Tolbert III
Vice Chairman

vacant

Judy J. Hatfield

David Holt

Russell M. Perry

Mark K. Stonecipher

EXECUTIVE DIRECTOR

Kenton Tsoodle

To: Board of Trustees of the Oklahoma City Redevelopment Authority

From: Kenton Tsoodle, Executive Director

Date: January 15, 2025

Ref: Resolution Ratifying the Executive Director's Approval of the Infrastructure Development Plan for Horizontal Infrastructure Improvements Submitted by OPERATIONREADYMIX LLC Pursuant to the Economic Development Agreement, Oklahoma Regional Innovation District Project Plan

Background: OCRA has previously entered into EDA with OPERATIONREADYMIX LLC. Under the EDA, OCRA will provide public assistance in development financing in an amount not to exceed \$4,500,000 in the form of loans.

As one of the conditions precedent to the payment of any assistance, the Developer shall have prepared and submitted to OCRA an Infrastructure Development Plan for the Horizontal Infrastructure Improvements, which shall include drawings and site plans showing the infrastructure improvements, a detailed budget, and evidence that the Developer has sufficient funding to complete the infrastructure improvements.

The Developer timely submitted the Infrastructure Development Plan for the Horizontal Infrastructure Improvements. The Executive Director, by letter dated September 18, 2024, approved the Infrastructure Development Plan for the Horizontal Infrastructure Improvements submitted by the Developer so that the Developer could move forward with the infrastructure improvements.

It is appropriate and desirable to ratify the Executive Director's approval of the Infrastructure Development Plan for the Horizontal Infrastructure Improvements.

Summary of Agenda Item: The resolution ratifies the approval of the infrastructure development plan for the horizontal infrastructure improvements.

Recommendation: Approval of Resolution

RESOLUTION NO. _____

RESOLUTION RATIFYING THE EXECUTIVE DIRECTOR'S APPROVAL OF INFRASTRUCTURE DEVELOPMENT PLAN FOR HORIZONTAL INFRASTRUCTURE IMPROVEMENTS SUBMITTED BY OPERATIONREADYMIX LLC PURSUANT TO THE ECONOMIC DEVELOPMENT AGREEMENT, OKLAHOMA REGIONAL INNOVATION DISTRICT PROJECT PLAN

WHEREAS, the Oklahoma City Redevelopment Authority (“OCRA”) has entered into an Economic Development Agreement with OPERATIONREADYMIX LLC, an Oklahoma limited liability company (“Developer”), for the development of (i) infrastructure improvements to support the development of an approximately five and a half acre tract of property located on the northeast corner of N.W. 13th Street and N. Boardway Avenue (“Larger Site”); (ii) an office building on the property that lies in the corner of the Larger Site (“Property”); and (iii) all necessary public and private utility relocations, (items (i) through (iii), collectively, the “Project”); and

WHEREAS, under the Economic Development Agreement, OCRA will provide public assistance in development financing in an amount not to exceed \$4,500,000 in the form of two loans; and

WHEREAS, as one of the conditions precedent to the payment of any assistance, the Developer shall have prepared and submitted to OCRA an Infrastructure Development Plan for the Horizontal Infrastructure Improvements, which, as more particularly defined in the Economic Development Agreement, shall include drawings and site plans showing the infrastructure improvements, a detailed budget, and evidence that the Developer has sufficient funding to complete the infrastructure improvements; and

WHEREAS, the Developer timely submitted the Infrastructure Development Plan for the Horizontal Infrastructure Improvements; and

WHEREAS, so that the Developer could move forward with the infrastructure improvements, the Executive Director, by letter dated September 18, 2024, approved the Infrastructure Development Plan for the Horizontal Infrastructure Improvements submitted by the Developer; and

WHEREAS, it is appropriate and desirable to ratify the Executive Director’s approval of the Infrastructure Development Plan for the Horizontal Infrastructure Improvements submitted by the Developer.

NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of the Oklahoma City Redevelopment Authority as follows:

1. The approval by the Executive Director of the Infrastructure Development Plan for the Horizontal Infrastructure Improvements submitted by the Developer is hereby ratified, and said Infrastructure Development Plan for the Horizontal Infrastructure

Improvements submitted by the Developer is approved.

- 2. The Officers and Executive Director of OCRA, with the assistance of Legal Counsel, are authorized to approve and execute such documents and take such actions as may be necessary or appropriate or appropriate to implement the authorizations made by this resolution.

I, _____, Secretary of the Board of Trustees of the Oklahoma City Redevelopment Authority, certify that the foregoing Resolution No. _____ was duly adopted at a **regular** meeting of the Board of Trustees of the Oklahoma City Redevelopment Authority, held at the Arts District Garage Conference Room, 431 West Main Street, Suite B, Oklahoma City, Oklahoma 73102, on the **15th** day of **January, 2025**; that said meeting was held in accordance with the By-Laws of OCRA and the Oklahoma Open Meetings Act; that any notice required to be given of such meeting was properly given; that a quorum was present at all times during said meeting; and that the Resolution was duly adopted by a majority of the Trustees present.

SECRETARY

(SEAL)

SUMMARY OF PUBLIC QUANTITIES

ITEM #	ITEM	UNIT	QUANTITY	AS-BUILT
PUBLIC PAVING QUANTITIES				
1.	2" TYPE 'S-5' ASPH. CONC. PAVING (PG 64-22 OK)	SY	541	
2.	4" TYPE 'S-3' ASPH. CONC. PAVING (PG 58-28 OK)	SY	541	
3.	TACK COAT	GAL	82	
4.	6" AGGREGATE BASE	SY	676	
5.	SEPARATOR FABRIC	SY	953	
6.	REMOVE EXIST. 4" TRAFFIC STRIPE	LF	55	
7.	6"x 2'-0" CONC. CURB & GUTTER	LF	720	
8.	REMOVE EXIST. DRIVEWAY	EA	3	
9.	REMOVE EXIST. STORM SEWER PIPE	LF	174	
10.	REMOVE EXIST. CURB INLET	EA	4	
11.	REMOVE EXIST. PAVING	SY	737	
12.	4" TRAFFIC STRIPE	LF	154	
13.	RIGHT TURN ARROW	EA	3	
14.	STD. DES. 2-2 CURB INLET	LF	1	
15.	STD. DES. 2-1 CURB INLET	EA	1	

EROSION CONTROL QUANTITIES

NO	ITEM	UNIT	QTY
GRAVING CONTRACTOR			
1.	CONSTRUCTION ENTRANCE	EA	1
2.	SILT FENCE	LF	1975
PAVING CONTRACTOR			
1.	SEED ALL DISTURBED AREAS	LS	1
2.	CONCRETE WASHOUT	EA	1

PAVING & STORM SEWER PLAN

TO SERVE

PROJECT No. PD- -

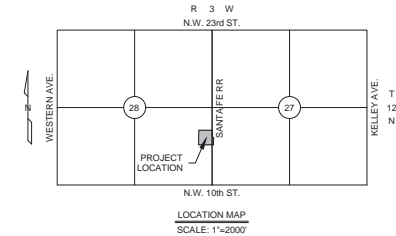
ALLEY NORTH PHASE 1

LANE MILES = 0.0000 MILES

BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, 1M
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA



The City of
OKLAHOMA CITY
Public Works Department



SHEET INDEX

SHEET NO.	DESCRIPTION
P1	TITLE SHEET, QUANTITIES
P2	PAVING & STORM SEWER GENERAL LAYOUT
FP1-FP2	FINAL PLAT
TS	TOPOGRAPHIC SURVEY
PD	DEMOLITION PLAN
P4	PAVING & STORM SEWER PLAN
PS	STRIPPING PLAN
EC1-EC2	EROSION CONTROL PLAN
D-300	STANDARD TYPICAL SECTIONS DRIVEWAY DETAILS

PAVING AND STORM SEWER - GENERAL NOTES

- ALL CONSTRUCTION SHALL BE DONE IN STRICT ACCORDANCE WITH OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS AND SHALL BE UNDER THE STRICT SUPERVISION OF THE CITY ENGINEER OF THE CITY OF OKLAHOMA CITY.
- ALL FILL AREAS INDICATED SHALL BE COMPACTED TO 90% STANDARD PROCTOR DENSITY PRIOR TO CONSTRUCTION IN ACCORDANCE WITH PART I & PART III OF OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. TEST REPORTS WILL BE SUBMITTED TO THE OKLAHOMA CITY FIELD ENGINEER'S OFFICE.
- ALL WORK CLASSIFIED AS A "PAY ITEM" SHALL BE CONSIDERED INCIDENTAL CONSTRUCTION, THE COST OF WHICH SHALL BE INCLUDED IN THE COST OF OTHER BID ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION; DAMAGE TO ANY UTILITIES OR STRUCTURES DURING EXCAVATION AND CONSTRUCTION OF PROPOSED PAVING & STORM SEWER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TRENCHING WILL BE BACKFILLED WITH TYPE II AGGREGATE UNDER ALL PAVED AREAS AND 1' ABOVE THE PIPE FOR PLASTIC PIPE AND ALL UNPAVED AREAS. THE CONTRACTOR SHALL BE PAID FOR THE CALCULATED QUANTITY OF AGGREGATE REQUIRED TO BACKFILL TRENCHES AS ESTABLISHED BY THE CITY OF OKLAHOMA CITY STANDARDS AND SPECIFICATIONS FOR TRENCHING. IF THE CONTRACTOR OVER CUTS THE TRENCH, THE ADDITIONAL AGGREGATE WILL BE TREATED AS INCIDENTAL CONSTRUCTION AND WILL BE AT THE CONTRACTOR'S EXPENSE.
- 60# WITH CURBS AND 18" HIGH PERFORMANCE POLYPROPYLENE (PP) WITH GAGGETS SHALL BE INSTALLED UNDER STREETS AND ROADWAYS NEXT TO CURBS AND BETWEEN HOUSES. ALL JOINTS ON ECG, RCP, AND PP SHALL BE WRAPPED WITH A (1) FOOT WIDE FILTER FABRIC STRIP AROUND THE JOINT AND OVERLAPPING TWO FEET.
- ALL STORM SEWER CURB INLETS THAT ARE NOT LOCATED IN A SUMP CONDITION SHALL HAVE ANY ADDITIONAL HOODS LOCATED UPSTREAM FROM THE GRATES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL MEASUREMENTS PRIOR TO CONSTRUCTION OF ANY PERMANENT STRUCTURE.
- EXCAVATION FOR CONSTRUCTION OF STREETS SHALL BE INCLUDED IN THE COST OF OTHER BID ITEMS. EARTHWORK SHALL CONSIST OF EXCAVATION TO SUBGRADE AND BACKFILL OF CURB AFTER CONSTRUCTION. SLOPES FROM BACK OF CURB TO EXISTING GROUND NOT TO EXCEED 4:1. ALL BACKFILL TO BE COMPACTED TO 90% STANDARD PROCTOR DENSITY AND SUBGRADE TO BE COMPACTED AS SPECIFIED IN GENERAL NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
- A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SIDEWALKS AND HANDICAP ACCESS RAMPS MEET COMPLIANCE WITH THE ADAAG (28 CFR PART 36) REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR ENGINEER'S DESIGNEE OF ANY DISCREPANCIES BETWEEN DESIGN INFORMATION AND THE ADAAG REQUIREMENTS PRIOR TO CONSTRUCTION.

TRAFFIC NOTES

- ALL CONSTRUCTION SHALL BE DONE IN STRICT ACCORDANCE WITH OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS AND SHALL BE UNDER THE STRICT SUPERVISION OF THE CITY ENGINEER OF THE CITY OF OKLAHOMA CITY.
- ALL FILL AREAS INDICATED SHALL BE COMPACTED TO 90% STANDARD PROCTOR DENSITY PRIOR TO CONSTRUCTION IN ACCORDANCE WITH PART I & PART III OF OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. TEST REPORTS WILL BE SUBMITTED TO THE OKLAHOMA CITY FIELD ENGINEER'S OFFICE.
- ALL WORK CLASSIFIED AS A "PAY ITEM" SHALL BE CONSIDERED INCIDENTAL CONSTRUCTION, THE COST OF WHICH SHALL BE INCLUDED IN THE COST OF OTHER BID ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND MUST HAVE ALL UTILITIES LOCATED PRIOR TO COMMENCING ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE INVERT AND FLOWLINE ELEVATIONS OF ALL WATER LINES, SANITARY SEWERS, STORM DRAINS, DRAINAGE STRUCTURES, AND SURFACE DRAINAGE COURSES PRIOR TO LAYING ANY NEW PIPE. THE CONTRACTOR MUST CALL ONE AT (405) 840-6032 TO HAVE ALL PUBLIC UTILITIES (WATER AND SANITARY SEWER LINES) AND FRANCHISED UTILITIES (ELECTRIC LINES, TELEPHONE CABLES, FIBER OPTIC LINES, CABLE TELEVISION, GAS LINES, OIL PIPELINES AND TRAFFIC SIGNAL CONDUIT) LOCATED AT LEAST TWO (2) DAYS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REPLACEMENT AND/OR REPAIR OF ALL TRAFFIC CONTROL DEVICES AND APPURTENANCES DAMAGED OR DISTURBED DUE TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL PAYMENT MARKINGS THAT WILL BE IN CONFLICT WITH THE PROPOSED WORK.
- A WORK ZONE PERMIT MUST BE OBTAINED FROM THE TRAFFIC MANAGEMENT DIVISION AT LEAST TWO (2) WORKING DAYS PRIOR TO THE START OF WORK AND/OR PLACING OR REMOVING ANY BARRICADES OR MODIFYING TRAFFIC CONTROL DEVICES. E-MAIL: workzone@okc.gov TO OBTAIN AN APPLICATION.

EROSION CONTROL NOTES

- ALL LAND DISTURBING ACTIVITIES INSIDE OF THE OKLAHOMA CITY LIMITS MUST OBTAIN A LAND DISTURBING ACTIVITY PERMIT WITH THE CITY OF OKLAHOMA CITY STORM WATER QUALITY MANAGEMENT DIVISION. ADDITIONALLY CONSTRUCTION ACTIVITIES THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE (1) ACRE, OR LESS THAN ONE (1) ACRE IF THEY ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT TOTALS AT LEAST ONE (1) ACRE MUST OBTAIN AUTHORIZATION TO DISCHARGE STORMWATER UNDER THE OPOES CONSTRUCTION GENERAL PERMIT (OPOES).
- THE USGS 7.5 MINUTE QUADRANGLE SHEETS ARE USED TO INDICATE THE "WATERS OF THE UNITED STATES" AND "WETLANDS" EXIST WITHIN THIS PROJECT AREAS. THE ISSUE OF "WATERS OF THE UNITED STATES" AND "WETLANDS" FALLS UNDER THE CORP OF ENGINEERS (COE) TULSA DISTRICT REGULATORY DIVISION. BUT THE CITY IS OBLIGATED TO INQUIRE THAT ALL NECESSARY STATE AND FEDERAL PERMITS HAVE BEEN OBTAINED. PURSUANT TO AC2P 122.21 THEREFORE, THE APPLICANT IS REQUIRED TO SUBMIT DOCUMENTATION FROM THE COE SHOWING COE APPROVAL FOR PROPOSED WORK, IF APPLICABLE.
- LIST EROSION CONTROL QUANTITIES AND WHO WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGE DUE TO CONSTRUCTION.
- A COPY OF THE EROSION CONTROL SITE PLAN MUST ALWAYS BE ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- ANY ACCESS TO THE PROJECT SITE THAT DOES NOT INCLUDE A CONSTRUCTION ENTRANCE SHALL BE BLOCKED.
- A MINIMUM OF 18" OF SOIL IS REQUIRED ALONG ALL CURBS AND FLUMES.
- A NOTICE OF INTENT (NOI) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHOULD BE SUBMITTED 30 DAYS PRIOR TO THE INITIAL DISTURBANCE OF SOILS.
- IF A FLOODPLAIN ACTIVITY (FPAT) PERMIT IS REQUIRED FOR THIS PROJECT, THIS PERMIT MUST BE OBTAINED BEFORE A STORM WATER QUALITY (SWQ) PERMIT WILL BE ISSUED.

ADA NOTES

- ALL AMERICANS WITH DISABILITIES ACT (ADA)/SIDEWALK IMPROVEMENTS MUST MEET CURRENT ADA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND/OR REPAIR OF ALL EXISTING ADA IMPROVEMENTS DAMAGED OR DISTURBED DURING CONSTRUCTION.

ONE CALL UTILITY LOCATION NUMBER

(405) 840-6032 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.
1-800-522-6543

PREPARED BY:



Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 254-6070 FAX (405) 254-9878 www.ja-ok.com
Certified of Authorization #1461 Exp. Date 06-30-2025
ENGINEERS • SURVEYORS • PLANNERS



REGISTERED PROFESSIONAL ENGINEER
DATE: 04-30-2026

**DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION**

Checked by: _____ Date: _____
Checked by: _____ Date: _____
Checked by: _____ Date: _____

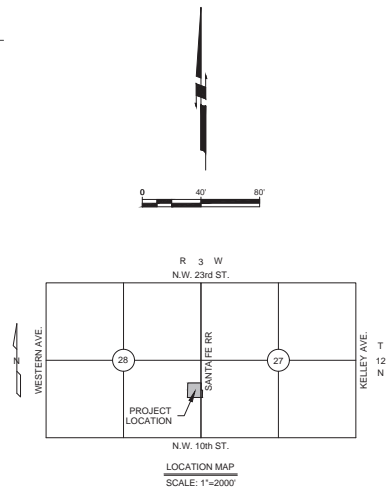
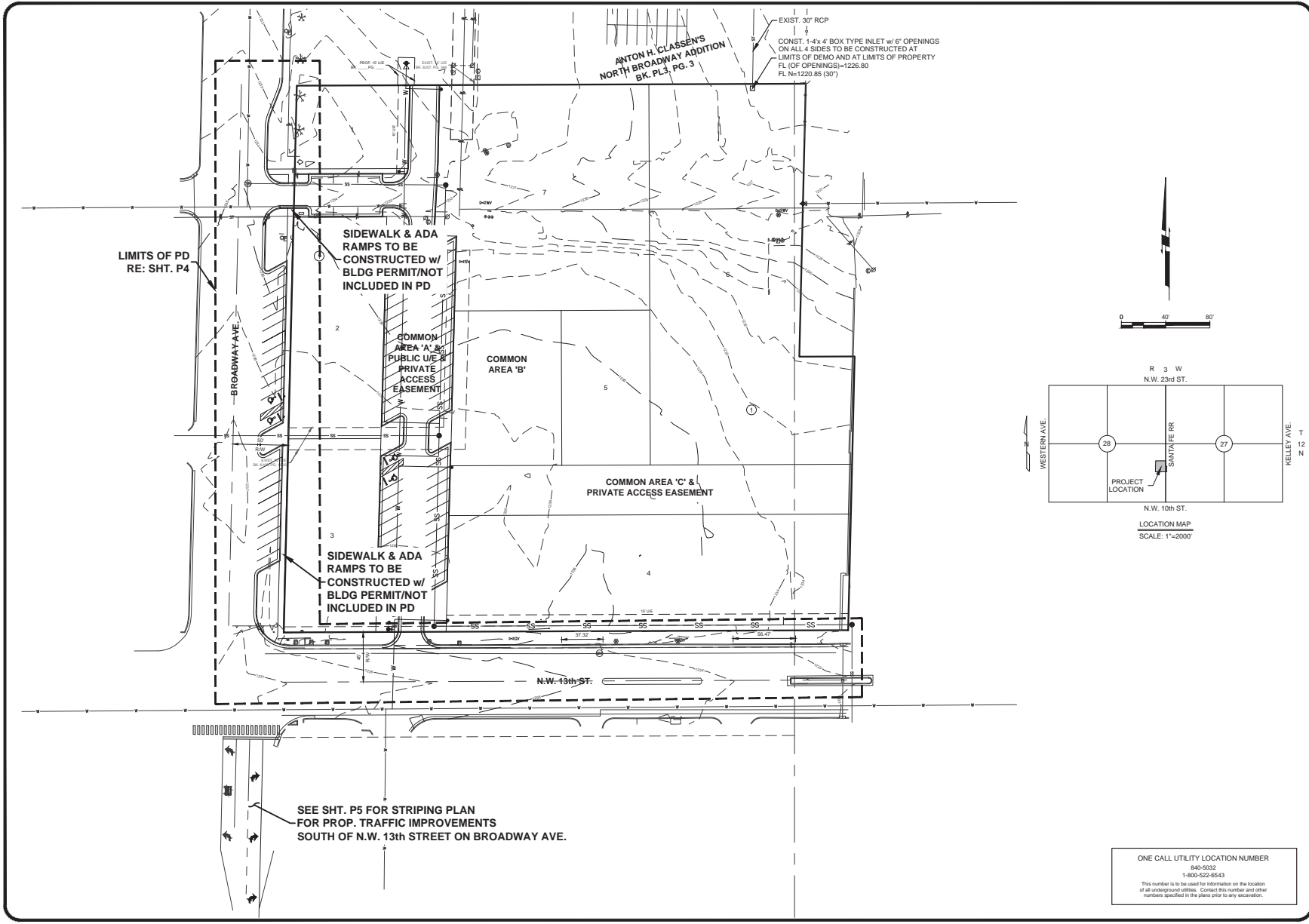
APPROVED:

City Engineer: _____ Date: _____
ALLEY NORTH PHASE 1 PD- _____

SWQ PERMIT: SWC-----	BILLING ADDRESS
BLDC: BLDC-----	PIVOT REAL ESTATE DEVELOPMENT 301 N.W. 13th ST. SUITE 202 OKC, OK 73103

BELOW FOR CITY USE ONLY	BUILDING ADDRESS	BENCHMARK & VERTICAL DATUM
<input type="checkbox"/> FPAT REQUIRED <input type="checkbox"/> EASEMENT(S) REQUIRED <input type="checkbox"/> DRIVEWAY WIDTH APPROVAL <input type="checkbox"/> STORM SEWER TAP PERMITS <input type="checkbox"/> REVOCABLE PERMITS	N/A	Benchmark: Benchmark by Johnson & Associates Set On/Around Site: Original Benchmark: 450 Source: City of Oklahoma City GPS Datum Horizontal Datum: NAD83/CGRS 80; NGS 2007 Vertical Datum: NAVD83; CGEOD 03 Benchmark # 234 Northing: 175171.889 Easting: 212247.116 Elevation: 1243.928 Description: Approximately 25' Edge of the CL of Jordan Ave. & 18' North of the CL of 47th St. Object: OKC 2" Diameter Aluminum Cap

2024 F&E - H:\2024\03\01\10016510\10016510-F&E.dwg (1/21/2024 2:12 PM) Sam Thomas
98273 L04222 - 030401-002.dwg (3/28/2019-F&E.dwg (3/28/2019 1:49 PM) Sam Thomas



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NO.	REVISIONS DESCRIPTION	DATE

Johnson & Associates
1 E. Oklahoma City, OK 73104
Professional Engineer
Contractor of Professional Service Exp. Date 08-30-2025
• ENGINEERS • SURVEYORS • PLANNERS •

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
PAVING & STORM SEWER
GENERAL LAYOUT

Proj. No.: PD
Date: 06-12-24
Scale: 1"=40'

Checked By: _____
Approved By: _____

SHEET NUMBER
P2

FINAL PLAT of ALLEY NORTH PHASE 1

BEING A REPLAT OF ALL OF BLOCK 3, ALL OF LOT 26 BLOCK 2, AND A PORTION OF
LOTS 25, 27-38 BLOCK 2 OF ANTON H. CLASSEN'S NORTH BROADWAY ADDITION
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, 1M
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That OPERATIONREADYMX, LLC, an Oklahoma Limited Liability Company, hereby certifies that they are the owner of, and the only persons, firms or companies having title or interest in and to the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma. They have caused the same to be surveyed and platted into lots, as shown on said Final Plat, which said Final Plat represents a correct survey of all property included therein under the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, being a part of the Southeast Quarter (SE/4) of Section Twenty-Eight (28) and of the Southwest Quarter of (SW/4) of Section Twenty-Seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma County, Oklahoma.

They further certify that they are the owners of and the only persons, firms or companies who has any right, title or interest to the land included in the above mentioned Final Plat, and they do hereby dedicate all street rights-of-way and utility easements as shown on said Final Plat to the public, for public streets, public drainage and public utilities for their heirs, executors, administrators, successors and assigns forever and have caused the same to be released from all encumbrances to be executed on this ____ day of _____, 2024.

Signed by the Manager this ____ day of _____, 2024.

OPERATIONREADYMX, LLC

By: _____
William T. Strange, Manager

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS
Before me, the undersigned, a notary public in and for said county and state on this ____ day of _____, 2024, personally appeared William T. Strange, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its Manager, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such company for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public
My Commission No.: _____

CERTIFICATE OF PLANNING COMMISSION

I, _____, Planning Director for the City of Oklahoma City, hereby certify that the City of Oklahoma City Planning Commission duly approved the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma at a meeting the ____ day of _____, 2024.

Planning Director

CERTIFICATE OF CITY CLERK

I, _____, City Clerk of the City of Oklahoma City, Oklahoma County, Oklahoma, hereby certify that I have examined the records of said City and find that all deferred payments on unratified installments upon special assessment have been paid in full and that there are no special assessment procedures now pending against the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma.

Signed by the City Clerk this ____ day of _____, 2024.

City Clerk

ACCEPTANCE OF DEDICATION BY CITY COUNCIL

Be It resolved by the Council of the City of Oklahoma City that the dedication shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma is hereby accepted.

Adopted by the Council of the City of Oklahoma City this ____ day of _____, 2024.

City Clerk

Mayor

BONDED ABTRACTOR'S CERTIFICATE

The undersigned, a duly qualified and lawfully bonded abtractor of titles in and for Oklahoma County and the State of Oklahoma, hereby certify that the records of said county show that the Title to the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma is vested in OPERATIONREADYMX, LLC, on the ____ day of _____, 2024, that there are no actions pending or judgements of any nature in any court or on file with the clerk thereof, that the taxes are paid for the year 2023 and prior years, that there are no outstanding tax sales certificates against said land and no tax deeds are issued to any person, that there are no liens, or other encumbrances of any kind against the land included in the Final Plat, except mortgages, rights-of-way, easements, and mineral conveyances of record.

In witness thereof, said Bonded Abtractor has caused this instrument to be executed this ____ day of _____, 2024.

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS
Before me, the undersigned, a notary public in and for said county and state on this ____ day of _____, 2024, personally appeared _____, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its _____, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such corporation for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public
My Commission No.: _____

COUNTY TREASURER'S CERTIFICATE

I, _____, do hereby certify that I am the duly qualified and acting County Treasurer of Oklahoma County and that the tax records of said county show that all taxes for the year 2023 and prior years are paid on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, and that the required statutory security has been deposited in the offices of the County Treasurer guaranteeing the current year's taxes.

In witness thereof said County Treasurer has caused this instrument to be executed this ____ day of _____, 2024.

County Treasurer

REGISTERED PROFESSIONAL LAND SURVEYOR'S CERTIFICATE

I, Matthew Johnson, a Professional Land Surveyor in the State of Oklahoma, do hereby certify that the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, consisting of 2 sheets, represents a careful survey made under my supervision on the ____ day of _____, 2024, and that the plat of survey is an accurate representation of said survey and that all monuments shown hereon actually exist.

I further certify that this plat of survey meets the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted by the Oklahoma State Board of Registration for Professional Engineers and Land Surveyors.

Witness my hand and seal this ____ day of _____, 2024.

Matthew Johnson, P.L.S. No. 1807

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS
Before me, the undersigned, a notary public within and for said county and state, personally appeared Matthew Johnson, to me known to be the identical person who executed the within and foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public
My Commission No.: _____

PROPERTY DESCRIPTION

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-eight (28) and the Southwest Quarter (SW/4) of Section Twenty-seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, and being all of Block Three (3), all of Lot Twenty-six (26) in Block Two (2) together with portions of Lot Twenty-five (25), Lots Twenty-seven (27) through Thirty-eight (38) and a portion of the vacated Alley adjacent thereto, all in Block Two (2) and all of vacated N.W. 14th Street of ANTON H. CLASSEN'S NORTH BROADWAY ADDITION according to the Plat recorded in Book PL3, Page 3, being more particularly described as follows:

BEGINNING at the Southwest (SW) Corner of Lot 21 in said Block 3;
THENCE North 01°21'44" East, along and with the West lines of said Blocks 3 and 2, a distance of 494.33 feet to a point 49.29 feet North of the Southwest (SW) Corner of Lot 26 of said Block 2;
THENCE North 89°46'35" East, departing the West line of said Block 2, a distance of 459.98 feet to a point on the East line of said Block 2, said point being 49.29 feet North of the Southeast (SE) Corner of Lot 38 of said Block 2;

THENCE along and with the East lines of said Blocks 2 and 3, the following 3 calls:
1. South 01°21'44" West, a distance of 246.83 feet;
2. North 89°46'35" East, a distance of 50.02 feet;
3. South 01°21'44" West, a distance of 247.50 feet to the Southeast (SE) Corner of said Block 3;

THENCE South 89°46'35" West, along and with the South line of said Block 3, a distance of 510.00 feet to the POINT OF BEGINNING.
Containing 239,669 square feet or 5,5020 acres, more or less.
Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). All Distances are grid distances in U.S. Survey Feet.

This property description was prepared on the ____ day of _____, 2024, by Matthew Johnson, Licensed Professional Surveyor, No. 1807.

FINAL PLAT
of

ALLEY NORTH PHASE 1

OWNER'S NOTARY	CITY CLERK	ABSTRACTOR	ABSTRACTOR'S NOTARY	COUNTY TREASURER	SURVEYOR	SURVEYOR'S NOTARY
						



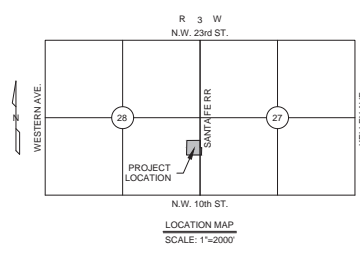
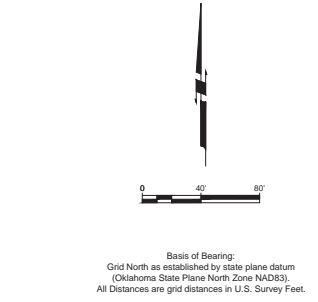
Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 233-8979 FAX: (405) 234-0779 www.ja-plc.com
Certificate of Authorization #1484 Exp. Date: 08-30-2025

ENGINEERS • SURVEYORS • PLANNERS •

FINAL PLAT of ALLEY NORTH PHASE 1

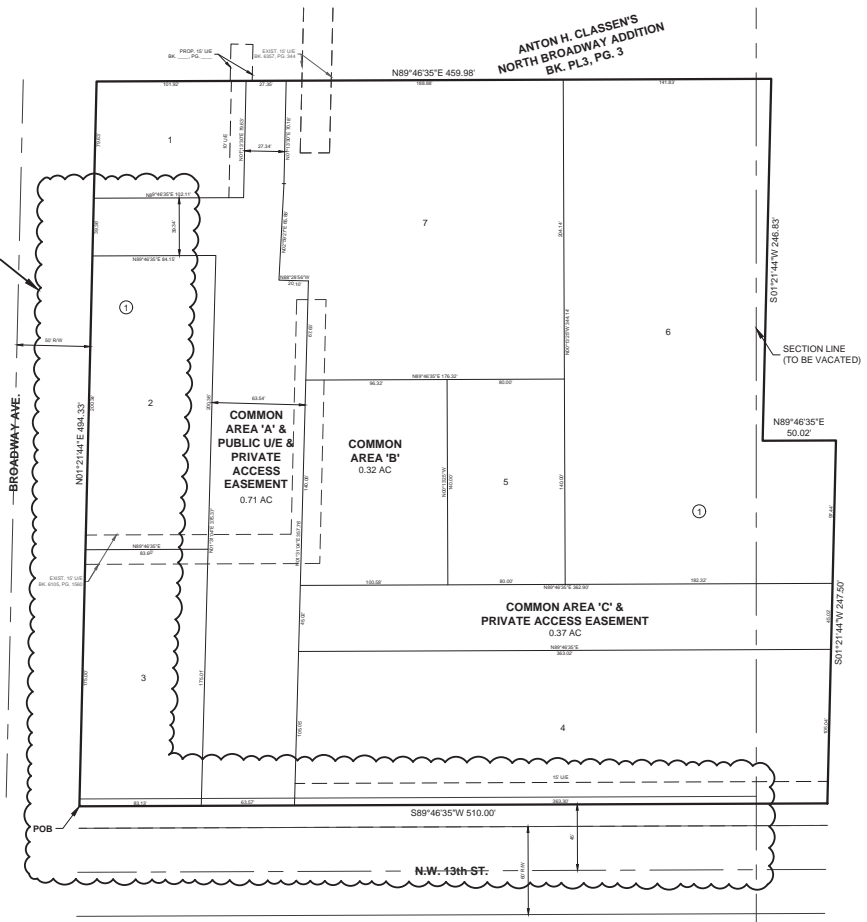
BEING A REPLAT OF ALL OF BLOCK 3, ALL OF LOT 26 BLOCK 2, AND A PORTION OF
LOTS 25, 27-38 BLOCK 2 OF ANTON H. CLASSEN'S NORTH BROADWAY ADDITION
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, 1M
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

ANTON H. CLASSEN'S
NORTH BROADWAY ADDITION
BK. PL.3, PG. 3

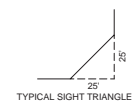


***** NOTE *****
THIS SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYORS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS; AND THAT SAID FINAL PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 11 SECTION 41-108 OF THE OKLAHOMA STATE STATUTES.

PROJECT AREA



- NOTES:**
1. All islands/medians within street rights-of-way, and arterial landscaping with its irrigation system, shall be maintained by the Property Owners Association within ALLEY NORTH PHASE 1.
 2. Maintenance of all common areas and private drainage easements within ALLEY NORTH PHASE 1 shall be the responsibility of the Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that may cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.



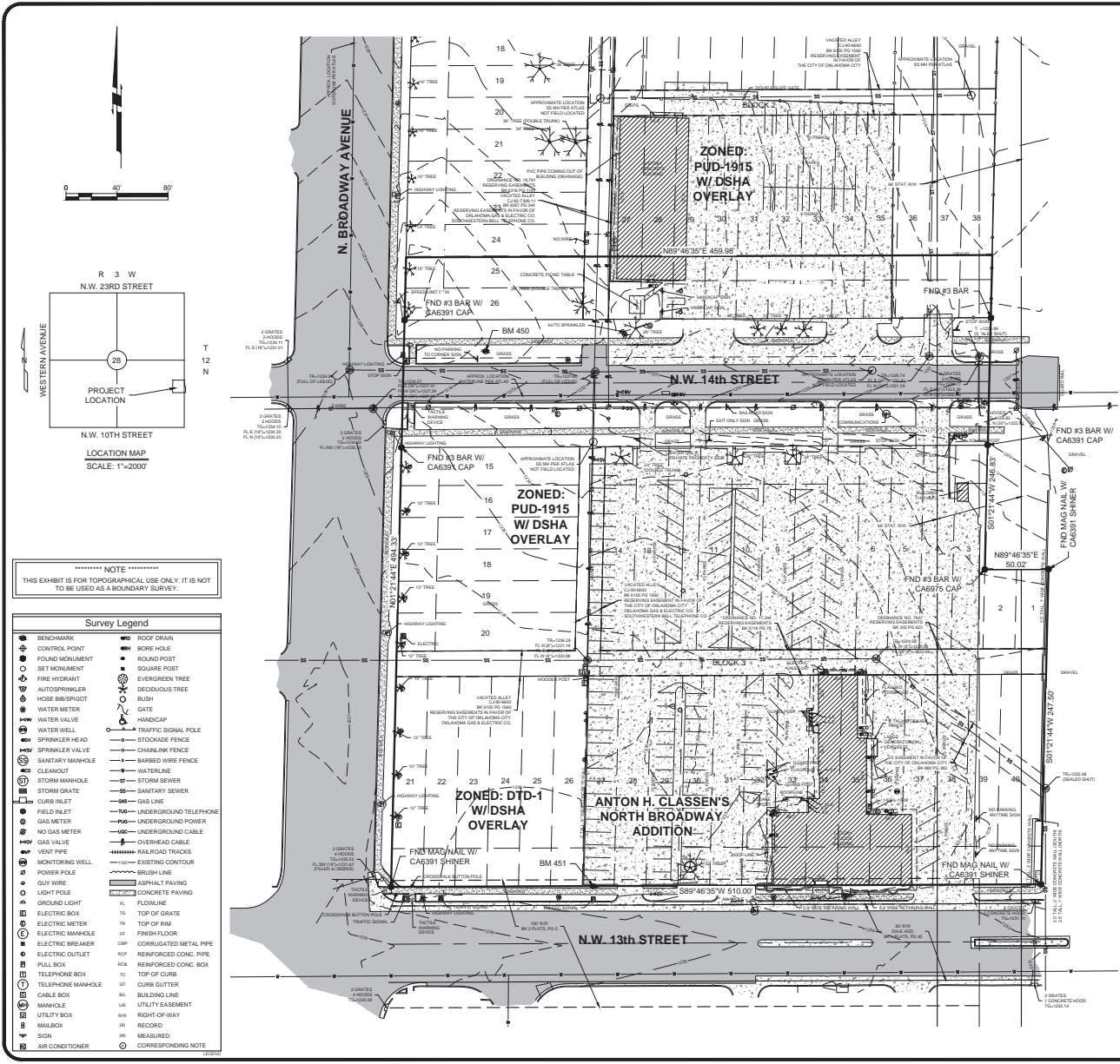
- LEGEND:**
- POB = POINT OF BEGINNING
 - R/W = RIGHT OF WAY
 - U/E = PUBLIC UTILITY EASEMENT
 - D/E = PUBLIC DRAINAGE EASEMENT
 - D & U/E = DRAINAGE & UTILITY EASEMENT

- DENOTES FND. #3 BAR w/CAP STAMPED "J&A 1484" UNLESS OTHERWISE NOTED
- DENOTES SET #3 BAR w/CAP STAMPED "J&A 1484" UNLESS OTHERWISE NOTED
- △ DENOTES SET NAIL IN "1484 J&A SHINER" UNLESS OTHERWISE NOTED

TOTAL NUMBER OF LOTS = 7
TOTAL COMMON AREA ACRES = 1.40 AC

FINAL PLAT of ALLEY NORTH PHASE 1

Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 233-8979 FAX: (405) 234-8779 www.jandco.com
Certificate of Authorization #1484 Exp. Date: 08-30-2025



Certificate of Survey

I, Matthew Johnson, certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision. The field work was completed on March 19, 2024. All coordinates are based on Oklahoma State Plane North Zone NAD83 and all elevations are based on NAVD83.

Date: June 5, 2024



Matthew Johnson, P.L.S.
 Registration No. 1807
JOHNSON & ASSOCIATES
 Certificate of Authorization No. 1494

Surveyor's Note:

The utilities shown herein have been located in the field by above ground inspection only. The underground utilities shown herein have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown herein comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown herein are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities. A Call OKC request was made on March 13, 2024 with a ticket numbers of 24031916003712, 24031916123747, 24031916383909, 24031916423840, 24031916453964, 24031916473965. All utilities that were marked at the time the field work was performed have been located and are shown on the survey.

No portion of the property shown on the survey lies within a Special Hazard Area, as described on the Flood Insurance Rate map for the community in which the subject property is located. The entire parcel lies within Zone "X" of the Federal Emergency Management Agency Community Panel Number 40109C0285H Map with an effective date of December 18, 2009.

The subject tract is currently zoned PUD-1915 AND DTD-1 with DSHA overlay.

Source: The City of Oklahoma City, Oklahoma Planning Department website at www.okc.gov, Phone: 405-297-2923 for more information about Building Height, setback and parking restrictions for this zoning.

All Horizontal coordinate values shown are U.S. Survey feet and all vertical elevation values are shown in feet. The Basis of Bearing is Oklahoma State Plane North Zone NAD83. All distances are Grid distances. Vertical datum is NAVD83. The original Benchmark is Oklahoma City Monument 234.

Original Benchmark:
 Source: City of Oklahoma City GPS Datum
 Horizontal Datum: NAD83/CORS 96, NRS 5 2007
 Vertical Datum: NAVD83, GEOID 03

Benchmark # 234
 Northing: 17573.689
 Easting: 212247.116
 Elevation: 1243.059
 Description: Approximately 25' East of the CL of Jordan Ave. and 18' North of the CL of NE 11th St.
 Object: OKC 2' Diameter Aluminum Cap

Benchmarks by Johnson & Associates

Set On/Down Sta:

Benchmark # 450
 Northing: 17840.36
 Easting: 211334.48
 Elevation: 1233.8
 Description: Located on the North side of NW 14th Street approx. 115' East of the centerline of Broadway, 10' NE of iron parking sign and 5' South of sidewalk
 Object: #4 bar with J&A Control Cap

Benchmark # 451
 Northing: 17800.21
 Easting: 211949.13
 Elevation: 1256.41
 Description: Located on the North side of NW 13th Street approx. 202' East of the centerline of Broadway, 10' North of traffic signal box in the grass North of sidewalk and South of parking lot
 Object: #4 bar with J&A Control Cap

Benchmark # 452
 Northing: 17723.23
 Easting: 211332.43
 Elevation: 1211.89
 Description: Located on the South side of NW 14th Street approx. 55' East of the centerline of Broadway, on the corner of a 90 degree in sidewalk
 Object: Mag Nail with J&A control cap

***** NOTE *****
 THIS EXHIBIT IS FOR TOPOGRAPHICAL USE ONLY. IT IS NOT TO BE USED AS A BOUNDARY SURVEY.

Survey Legend	
⊕	BENCHMARK
⊙	CONTROL POINT
⊛	FOUND MONUMENT
⊠	SET MONUMENT
⊕	FIRE HYDRANT
⊕	AUTO SPRINKLER
⊕	NOSE DISBURSPROT
⊕	WATER METER
⊕	WATER VALVE
⊕	WATER WELL
⊕	SPRINKLER HEAD
⊕	SPRINKLER VALVE
⊕	SANITARY MANHOLE
⊕	CLEANOUT
⊕	STORM MANHOLE
⊕	STORM GRATE
⊕	CURB INLET
⊕	FIELD INLET
⊕	GAS METER
⊕	NO GAS METER
⊕	GAS VALVE
⊕	VENT PIPE
⊕	MONITORING WELL
⊕	POWER POLE
⊕	GUY WIRE
⊕	LIGHT POLE
⊕	GROUND LIGHT
⊕	ELECTRIC BOX
⊕	ELECTRIC METER
⊕	ELECTRIC MANHOLE
⊕	ELECTRIC BREAKER
⊕	ELECTRIC OUTLET
⊕	PULL BOX
⊕	TELEPHONE BOX
⊕	TELEPHONE MANHOLE
⊕	CABLE BOX
⊕	MANHOLE
⊕	UTILITY BOX
⊕	MAILBOX
⊕	SIGN
⊕	AIR CONDITIONER
⊕	ROOF DRAIN
⊕	BORH HOLE
⊕	ROUND POST
⊕	SQUARE POST
⊕	EVERGREEN TREE
⊕	DECIDUOUS TREE
⊕	BUSH
⊕	GATE
⊕	HANDICAP
⊕	TRAFFIC SIGNAL POLE
⊕	STOCKADE FENCE
⊕	CHARLINK FENCE
⊕	BARBED WIRE FENCE
⊕	WATERLINE
⊕	STORM SEWER
⊕	SANITARY SEWER
⊕	GAS LINE
⊕	UNDERGROUND TELEPHONE
⊕	UNDERGROUND POWER
⊕	UNDERGROUND CABLE
⊕	OVERHEAD CABLE
⊕	RAILROAD TRACKS
⊕	EXISTING CONTOUR
⊕	BRUSH LINE
⊕	ASPHALT PAVING
⊕	CONCRETE PAVING
⊕	FLOWLINE
⊕	TOP OF GRATE
⊕	TOP OF RIM
⊕	FINISH FLOOR
⊕	CORRUGATED METAL PIPE
⊕	REINFORCED CONC. PIPE
⊕	REINFORCED CONC. BOX
⊕	TOP OF CURB
⊕	CURB GUTTER
⊕	BUILDING LINE
⊕	UTILITY EASEMENT
⊕	RIGHT-OF-WAY
⊕	RECORD
⊕	MEASURED
⊕	CORRESPONDING NOTE

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NO.	REVISIONS DESCRIPTION	DATE

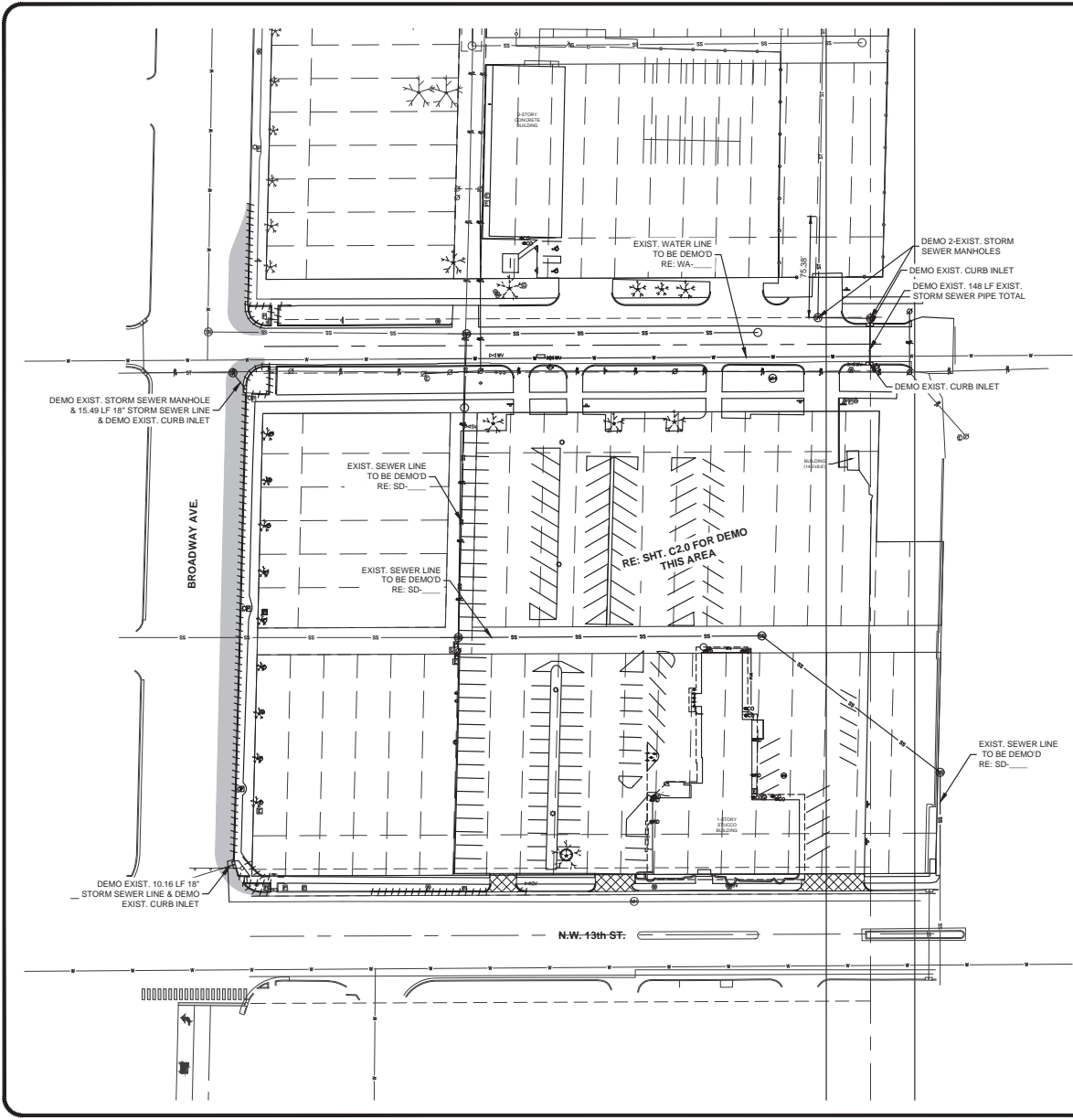
Johnson & Associates
 1 E. Sheridan Ave., Suite 200
 Oklahoma City, OK 73104
 (405) 297-2923
 www.johnsonandassociates.com
 ENGINEERS • SURVEYORS • PLANNERS

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

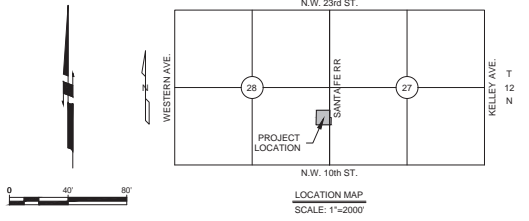
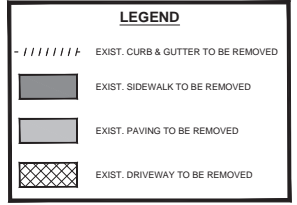
TOPOGRAPHIC SURVEY

Proj. No. 532901
 Date: 6-5-24
 Scale: 1"=40'
 Surveyed By: JMM
 Drawn By: JMM
 Approved By: MJ

SHEET NUMBER
TS

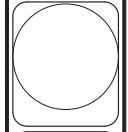


- DEMOLITION - GENERAL NOTES
- DEMOLITION CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND SHALL ACQUIRE ALL PERMITS NECESSARY TO COMPLETE THE PROJECT AS INDICATED ON THIS PLAN AND WITHIN THE CONTRACT.
 - ALL PAVING REMOVAL ON THE SUBJECT TRACT SHALL BE AS NOTED IN THE DESIGNATED AREA ON THE APPROVED PLAN.
 - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND NOTIFY ALL PUBLIC AGENCIES OF THE NECESSITY TO REMOVE OR RELOCATE ANY PUBLIC UTILITIES. IT IS RECOMMENDED THAT ALL PUBLIC UTILITIES SHALL REMAIN INTACT IN THEIR LOCATION AND IN FULL OPERATING CONDITIONS. IF THE CONTRACTOR HAS A CONFLICT WITH A UTILITY THAT WILL PREVENT HIM FROM COMPLETING THIS CONTRACT, HE SHALL NOTIFY IMMEDIATELY THE ENGINEER OR OWNER. CONTRACTOR SHALL SATISFY HIMSELF AS TO THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THIS PLAN AND SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO DEMOLITION.
 - THE DEMOLITION CONTRACT SHALL ALSO INCLUDE THE REMOVAL AND/OR PLUGGING AND ABANDONMENT OF PRIVATE UTILITIES LOCATED IN THE DEMOLITION AREA. ALSO ANY SIGNS, LIGHTS OR APPURTENANCES INSIDE OF THE DEMOLITION AREA SHALL BE REMOVED OR RELOCATED AS NECESSARY.
 - INSTALL PERIMETER SILT FENCES AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO REMOVING TOPSOIL OR BEGINNING DEMOLITION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
 - A COPY OF THE EROSION CONTROL PLAN AND THE STORM WATER MANAGEMENT POLLUTION PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.



ONE CALL UTILITY LOCATION NUMBER
840-5232
1-800-522-6543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

NO.	REVISIONS DESCRIPTION	DATE

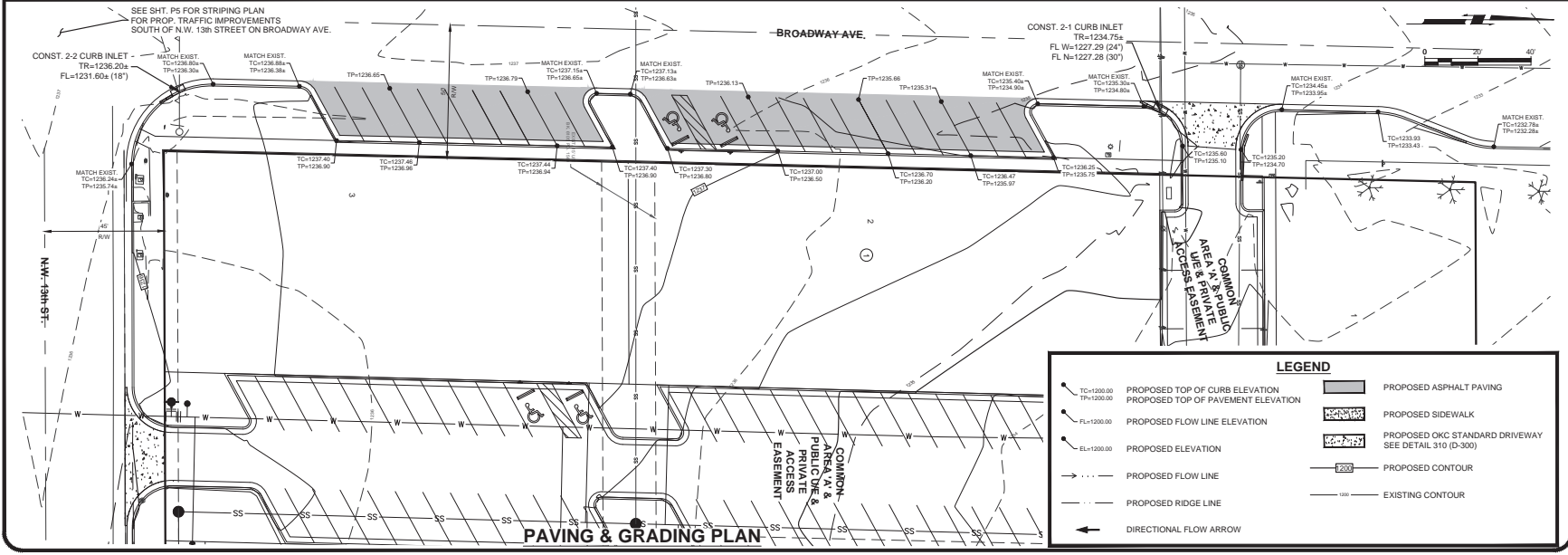
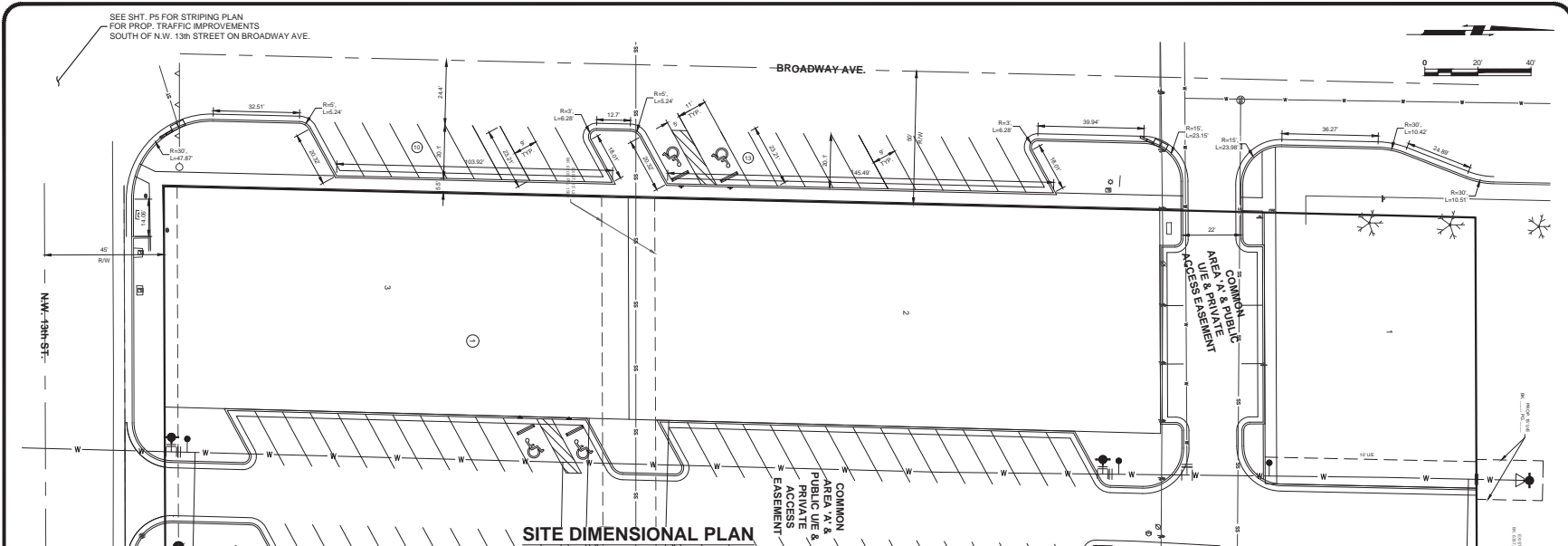


Johnson & Associates
1111
Oklahoma City, OK 73104
Contractors of Professional Service Est. Date 06-03-2005
• ENGINEER • SURVEYOR • PLANNER •

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
DEMOLITION PLAN

Proj. No.: PD
Date: 06-12-24
Scale: 1"=40'
Checked By:
Approved By:

SHEET NUMBER
P3



LEGEND	
TC=1200.00 TP=1200.00	PROPOSED TOP OF CURB ELEVATION PROPOSED TOP OF PAVEMENT ELEVATION
FL=1200.00	PROPOSED FLOW LINE ELEVATION
EL=1200.00	PROPOSED ELEVATION
→	PROPOSED FLOW LINE
---	PROPOSED RIDGE LINE
←	DIRECTIONAL FLOW ARROW
[Hatched Box]	PROPOSED ASPHALT PAVING
[Dotted Box]	PROPOSED SIDEWALK
[Dotted Box]	PROPOSED OKC STANDARD DRIVEWAY SEE DETAIL 310 (D-300)
[Dashed Line]	PROPOSED CONTOUR
[Solid Line]	EXISTING CONTOUR

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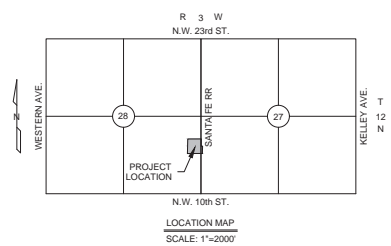
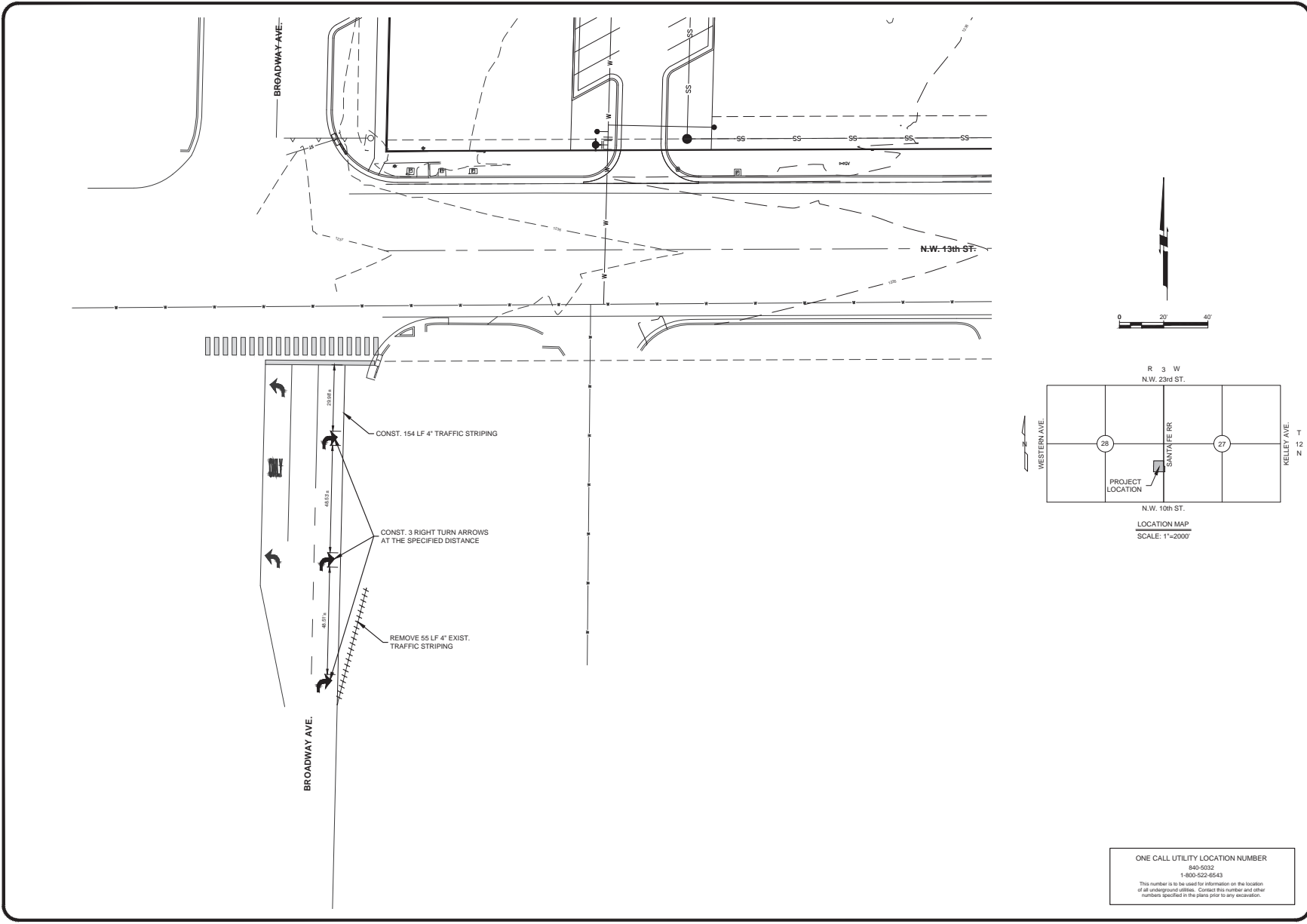
Johnson & Associates
 1115 N. Lincoln Blvd.
 Oklahoma City, OK 73104
 (405) 442-8800
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 ENGINEERS • SURVEYORS • PLANNERS

NO.	REVISIONS DESCRIPTION	DATE

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
 PAVING & STORM SEWER PLAN

Proj. No. PD
 Date: 06-12-24
 Scale: (Sheet) 1"=50'
 (Plan) 1"=20'
 Checked By:
 Approved By:

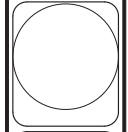
SHEET NUMBER
P4



ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-8543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

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NO.	REVISIONS DESCRIPTION	DATE



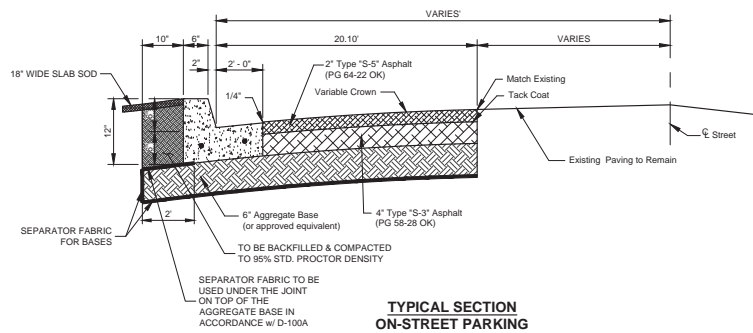
Johnson & Associates
1 E Oklahoma City, OK 73104
Contractor of Professional Service Exp. Date 08-30-2015
• ENGINEER • SUPERVISOR • PLANNER •

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
STRIPING PLAN

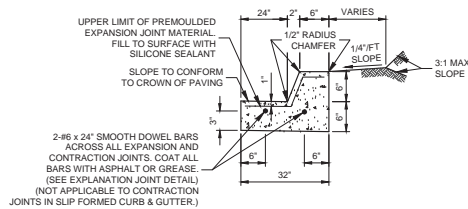
Proj. No.: PD
Date: 06-12-24
Scale: 1"=20'

Checked By: _____
Approved By: _____

SHEET NUMBER
P5

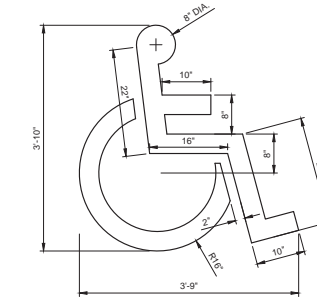


TYPICAL SECTION ON-STREET PARKING
SCALE: N.T.S.

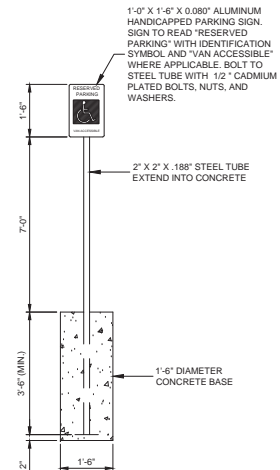


NOTE: MAXIMUM SPACING OF 1/2\"/>

6\"/>



HANDICAP PAVEMENT MARKING DETAIL
SCALE: N.T.S.



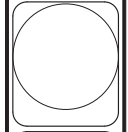
HANDICAP PARKING SIGN
SCALE: N.T.S.

ONE CALL UTILITY LOCATION NUMBER
840-5232
1-800-522-8543

This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

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NO.	REVISIONS DESCRIPTION	DATE



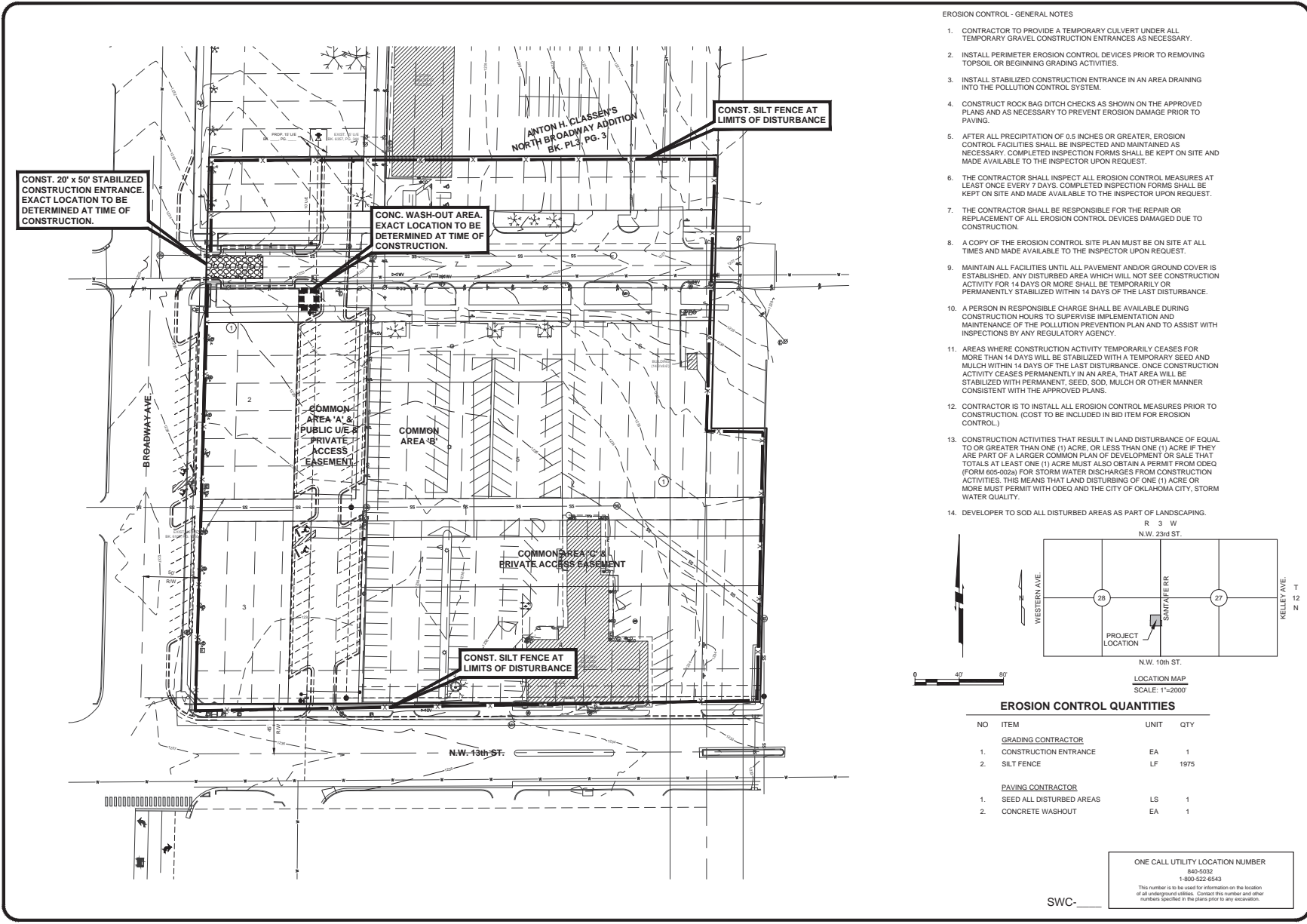
Johnson & Associates
1 E. Oklahoma City, OK 73104
Contractors of Professional Service Est. Date 08-03-2012
ENGINEER SURVEYOR PLANNER



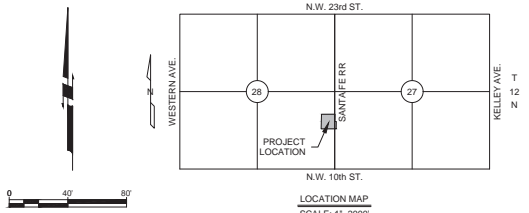
ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
PAVING DETAILS

Proj. No. PD
Date: 06-12-24
Scale: N.T.S.
Checked By:
Approved By:

SHEET NUMBER
P6



- EROSION CONTROL - GENERAL NOTES
- CONTRACTOR TO PROVIDE A TEMPORARY CULVERT UNDER ALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES AS NECESSARY.
 - INSTALL PERIMETER EROSION CONTROL DEVICES PRIOR TO REMOVING TOPSOIL OR BEGINNING GRADING ACTIVITIES.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE IN AN AREA DRAINING INTO THE POLLUTION CONTROL SYSTEM.
 - CONSTRUCT ROCK BAG DITCH CHECKS AS SHOWN ON THE APPROVED PLANS AND AS NECESSARY TO PREVENT EROSION DAMAGE PRIOR TO PAVING.
 - AFTER ALL PRECIPITATION OF 0.5 INCHES OR GREATER, EROSION CONTROL FACILITIES SHALL BE INSPECTED AND MAINTAINED AS NECESSARY. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
 - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
 - A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
 - MAINTAIN ALL FACILITIES UNTIL ALL PAVEMENT AND/OR GROUND COVER IS ESTABLISHED. ANY DISTURBED AREA WHICH WILL NOT SEE CONSTRUCTION ACTIVITY FOR 14 DAYS OR MORE SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE.
 - A PERSON IN RESPONSIBLE CHARGE SHALL BE AVAILABLE DURING CONSTRUCTION HOURS TO SUPERVISE IMPLEMENTATION AND MAINTENANCE OF THE POLLUTION PREVENTION PLAN AND TO ASSIST WITH INSPECTIONS BY ANY REGULATORY AGENCY.
 - AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED, SOD, MULCH OR OTHER MANNER CONSISTENT WITH THE APPROVED PLANS.
 - CONTRACTOR IS TO INSTALL ALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. (COST TO BE INCLUDED IN BID ITEM FOR EROSION CONTROL.)
 - CONSTRUCTION ACTIVITIES THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE (1) ACRE, OR LESS THAN ONE (1) ACRE IF THEY ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT TOTALS AT LEAST ONE (1) ACRE MUST ALSO OBTAIN A PERMIT FROM ODEO (FORM 616-0226) FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. THIS MEANS THAT LAND DISTURBING OF ONE (1) ACRE OR MORE MUST PERMIT WITH ODEO AND THE CITY OF OKLAHOMA CITY, STORM WATER QUALITY.
 - DEVELOPER TO SOD ALL DISTURBED AREAS AS PART OF LANDSCAPING.



EROSION CONTROL QUANTITIES

NO	ITEM	UNIT	QTY
GRADING CONTRACTOR			
1.	CONSTRUCTION ENTRANCE	EA	1
2.	SILT FENCE	LF	1975
PAVING CONTRACTOR			
1.	SEED ALL DISTURBED AREAS	LS	1
2.	CONCRETE WASHOUT	EA	1

ONE CALL UTILITY LOCATION NUMBER
 800-552
 1-800-522-6543
 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

SWC-

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NO.	REVISIONS DESCRIPTION	DATE

REGISTERED PROFESSIONAL ENGINEER
TIMOTHY JOHNSON
 12237
 GENERAL DATE: 04/30/2024

Johnson & Associates, Inc.
 1000 N. Lincoln Blvd., Suite 200
 Oklahoma City, OK 73104
 (405) 241-1100
 www.johnsonandassociates.com
 • ENGINEER • SURVEYOR • PLANNER •

JA

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
EROSION CONTROL PLAN

Proj. No.:
 Date: 06-12-24
 Scale: 1"=40'

Checked By:
 Approved By:

SHEET NUMBER
EC1

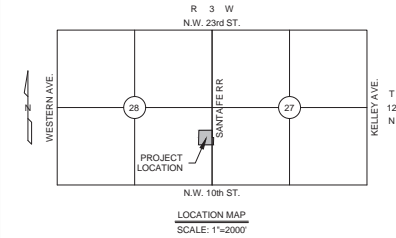
SUMMARY OF PUBLIC QUANTITIES

ITEM #	ITEM	UNIT	QUANTITY	AS-BUILT
PUBLIC PAVING QUANTITIES				
1.	2" TYPE 'S'-5 ASPH. CONC. PAVING (PG 64-22 OK)	SY	541	
2.	4" TYPE 'S'-3 ASPH. CONC. PAVING (PG 58-28 OK)	SY	541	
3.	TACK COAT	GAL	82	
4.	6" AGGREGATE BASE	SY	876	
5.	SEPARATOR FABRIC	SY	863	
6.	REMOVE EXIST. 4" TRAFFIC STRIPE	LF	55	
7.	6"x 2'-0" CONC. CURB & GUTTER	LF	720	
8.	REMOVE EXIST. DRIVEWAY	EA	3	
9.	REMOVE EXIST. STORM SEWER PIPE	LF	174	
10.	REMOVE EXIST. CURB INLET	EA	4	
11.	REMOVE EXIST. PAVING	SY	737	
12.	4" TRAFFIC STRIPE	LF	154	
13.	RIGHT TURN ARROW	EA	3	
14.	STD. DES. 2-2 CURB INLET	LF	1	
15.	STD. DES. 2-1 CURB INLET	EA	1	

PAVING & STORM SEWER PLAN
 TO SERVE
PROJECT No. PD- -
ALLEY NORTH PHASE 1
LANE MILES = 0.0000 MILES
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, IM
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA



The City of
OKLAHOMA CITY
Public Works Department



SHEET INDEX

SHEET NO.	DESCRIPTION
P1	TITLE SHEET, QUANTITIES
P2	PAVING & STORM SEWER GENERAL LAYOUT
FP1-FP2	FINAL PLAT
TS	TOPOGRAPHIC SURVEY
PD	DEMOLITION PLAN
P4	PAVING & STORM SEWER PLAN
PS	STRIPPING PLAN
EC1-EC2	EROSION CONTROL PLAN
D-300	STANDARD TYPICAL SECTIONS DRIVEWAY DETAILS

EROSION CONTROL QUANTITIES

NO	ITEM	UNIT	QTY
GRADING CONTRACTOR			
1.	CONSTRUCTION ENTRANCE	EA	1
2.	SILT FENCE	LF	1975
PAVING CONTRACTOR			
1.	SEED ALL DISTURBED AREAS	LS	1
2.	CONCRETE WASHOUT	EA	1

PAVING AND STORM SEWER - GENERAL NOTES

- ALL CONSTRUCTION SHALL BE DONE IN STRICT ACCORDANCE WITH OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS AND SHALL BE UNDER THE STRICT SUPERVISION OF THE CITY ENGINEER OF THE CITY OF OKLAHOMA CITY.
- ALL FILL AREAS INDICATED SHALL BE COMPACTED TO 90% STANDARD PROCTOR DENSITY PRIOR TO CONSTRUCTION IN ACCORDANCE WITH PART 1 & PART III OF OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. TEST REPORTS WILL BE SUBMITTED TO THE OKLAHOMA CITY FIELD ENGINEER'S OFFICE.
- ALL WORK CLASSIFIED AS A 'PAY ITEM' SHALL BE CONSIDERED INCIDENTAL CONSTRUCTION, THE COST OF WHICH SHALL BE INCLUDED IN THE COST OF OTHER BID ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. DAMAGE TO ANY UTILITIES OR STRUCTURES DURING EXCAVATION AND CONSTRUCTION OF PROPOSED PAVING & STORM SEWER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- TRENCHING WILL BE BACKFILLED WITH TYPE 'B' AGGREGATE UNDER ALL PAVED AREAS AND 1' ABOVE THE PIPE FOR PLASTIC PIPE IN ALL UNPAVED AREAS. THE CONTRACTOR SHALL BE PAID FOR THE CALCULATED QUANTITY OF AGGREGATE REQUIRED TO BACKFILL TRENCHES AS ESTABLISHED BY THE CITY OF OKLAHOMA CITY STANDARDS AND SPECIFICATIONS FOR TRENCHING. IF THE CONTRACTOR OVER CUTS THE TRENCH, THE ADDITIONAL AGGREGATE WILL BE TREATED AS INCIDENTAL CONSTRUCTION AND WILL BE AT THE CONTRACTOR'S EXPENSE.
- 6CP WITH ORINGS AND HP-HIGH PERFORMANCE POLYPROPYLENE PIPE WITH GASKETS SHALL BE INSTALLED UNDER STREETS AND ROADWAYS NEXT TO CURBS AND BETWEEN HOUSES. ALL JOINTS ON ECP, RCP, AND HP SHALL BE WRAPPED WITH A (4) FOOT WIDE FILTER FABRIC STRIP AROUND THE JOINT AND OVERLAPPING TWO FEET.
- ALL STORM SEWER CURB INLETS THAT ARE NOT LOCATED IN A SUMP CONDITION SHALL HAVE ANY ADDITIONAL HOODS LOCATED UPSTREAM FROM THE GRATES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL MEASUREMENTS PRIOR TO CONSTRUCTION OF ANY PERMANENT STRUCTURE.
- EXCAVATION FOR CONSTRUCTION OF STREETS SHALL BE INCLUDED IN THE COST OF OTHER BID ITEMS. EARTHWORK SHALL CONSIST OF EXCAVATION TO SUBGRADE AND BACKFILL OF CURB AFTER CONSTRUCTION. SLOPE FROM BACK OF CURB TO EXISTING GROUND NOT TO EXCEED 4:1. ALL BACKFILL TO BE COMPACTED TO 90% STANDARD PROCTOR DENSITY AND SUBGRADE TO BE COMPACTED AS SPECIFIED IN GENERAL NOTES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
- A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SIDEWALKS AND HANDICAP ACCESS RAMPS MEET COMPLIANCE WITH THE ADAAG (28 CFR PART 36) REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR ENGINEER'S DESIGNER OF ANY DISCREPANCIES BETWEEN DESIGN INFORMATION AND THE ADAAG REQUIREMENTS PRIOR TO CONSTRUCTION.

TRAFFIC NOTES

- ALL CONSTRUCTION SHALL BE DONE IN STRICT ACCORDANCE WITH OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS AND SHALL BE UNDER THE STRICT SUPERVISION OF THE CITY ENGINEER OF THE CITY OF OKLAHOMA CITY.
- ALL FILL AREAS INDICATED SHALL BE COMPACTED TO 90% STANDARD PROCTOR DENSITY PRIOR TO CONSTRUCTION IN ACCORDANCE WITH PART 1 & PART III OF OKLAHOMA CITY'S STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS. TEST REPORTS WILL BE SUBMITTED TO THE OKLAHOMA CITY FIELD ENGINEER'S OFFICE.
- ALL WORK CLASSIFIED AS A 'PAY ITEM' SHALL BE CONSIDERED INCIDENTAL CONSTRUCTION, THE COST OF WHICH SHALL BE INCLUDED IN THE COST OF OTHER BID ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND MUST HAVE ALL UTILITIES LOCATED PRIOR TO COMMENCING ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE INVERT AND FLOWLINE ELEVATIONS OF ALL WATER LINES, SANITARY SEWERS, STORM DRAINS, DRAINAGE STRUCTURES, AND SURFACE DRAINAGE COURSES PRIOR TO LAYING ANY NEW PIPE. THE CONTRACTOR MUST CALL ONE AT (405) 840-8032 TO HAVE ALL PUBLIC UTILITIES (WATER AND SANITARY SEWER LINES) AND BRANCHED UTILITIES (ELECTRIC LINES, TELEPHONE CABLES, FIBER OPTIC LINES, CABLE TELEVISION, GAS LINES, OIL PIPELINES AND TRAFFIC SIGNAL CONDUITS) LOCATED AT LEAST TWO (2) DAYS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REPLACEMENT AND/OR REPAIR OF ALL TRAFFIC CONTROL DEVICES AND APPURTENANCES DAMAGED OR DISTURBED DUE TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL PAYMENT MARKINGS THAT WILL BE IN CONFLICT WITH THE PROPOSED WORK.
- A WORK ZONE PERMIT MUST BE OBTAINED FROM THE TRAFFIC MANAGEMENT DIVISION AT LEAST TWO (2) WORKING DAYS PRIOR TO THE START OF WORK AND/OR FLAGGING OR REMOVING ANY BARRICADES OR MODIFYING TRAFFIC CONTROL DEVICES. EMAIL: workzone@okc.gov TO OBTAIN AN APPLICATION.

EROSION CONTROL NOTES

- ALL LAND DISTURBING ACTIVITIES INSIDE OF THE OKLAHOMA CITY LIMITS MUST OBTAIN A LAND DISTURBING ACTIVITY PERMIT WITH THE CITY OF OKLAHOMA CITY STORM WATER QUALITY MANAGEMENT DIVISION. ADDITIONALLY CONSTRUCTION ACTIVITIES THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE (1) ACRE, OR LESS THAN ONE (1) ACRE IF THEY ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT TOTALS AT LEAST ONE (1) ACRE MUST OBTAIN AUTHORIZATION TO DISCHARGE STORMWATER UNDER THE OPCS CONSTRUCTION GENERAL PERMIT (DMS).
- THE USGS 7.5 MINUTE QUADRANGLE SHEETS ARE USED TO INDICATE THE "WATERS OF THE UNITED STATES" AND "WETLANDS" EXIST WITHIN THIS PROJECT AREA. THE ISSUE OF "WATERS OF THE UNITED STATES" AND "WETLANDS" FALLS UNDER THE CORP OF ENGINEERS (COE) TULSA DISTRICT REGULATORY DIVISION. BUT THE CITY IS OBLIGATED TO INQUIRE THAT ALL NECESSARY STATE AND FEDERAL PERMITS HAVE BEEN OBTAINED. PURSUANT TO ACDFP 122.21 THEREFORE, THE APPLICANT IS REQUIRED TO SUBMIT DOCUMENTATION FROM THE COE SHOWING COE APPROVAL FOR PROPOSED WORK, IF APPLICABLE.
- LIST EROSION CONTROL QUANTITIES AND WHO WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
- A COPY OF THE EROSION CONTROL SITE PLAN MUST ALWAYS BE ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- ANY ACCESS TO THE PROJECT SITE THAT DOES NOT INCLUDE A CONSTRUCTION ENTRANCE SHALL BE BLOCKED.
- A MINIMUM OF 18" OF SOIL IS REQUIRED ALONG ALL CURBS AND FLUMES.
- A NOTICE OF INTENT (NOI) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHOULD BE SUBMITTED 30 DAYS PRIOR TO THE INITIAL DISTURBANCE OF SOILS.
- IF A FLOODPLAIN ACTIVITY (FPAT) PERMIT IS REQUIRED FOR THIS PROJECT, THIS PERMIT MUST BE OBTAINED BEFORE A STORM WATER QUALITY (SWQ) PERMIT WILL BE ISSUED.

ADA NOTES

- ALL AMERICANS WITH DISABILITIES ACT (ADA)/SIDEWALK IMPROVEMENTS MUST MEET CURRENT ADA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND/OR REPAIR OF ALL EXISTING ADA IMPROVEMENTS DAMAGED OR DISTURBED DURING CONSTRUCTION.

ONE CALL UTILITY LOCATION NUMBER

(405) 840-5032 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.
1-800-522-6543

PREPARED BY:

JA
 (OK P.E. 12277)
 6-12-2024
 REGISTERED PROFESSIONAL ENGINEER
 DATE: 04-30-2026



DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION

Checked by: _____ Date: _____
 Checked by: _____ Date: _____
 Checked by: _____ Date: _____

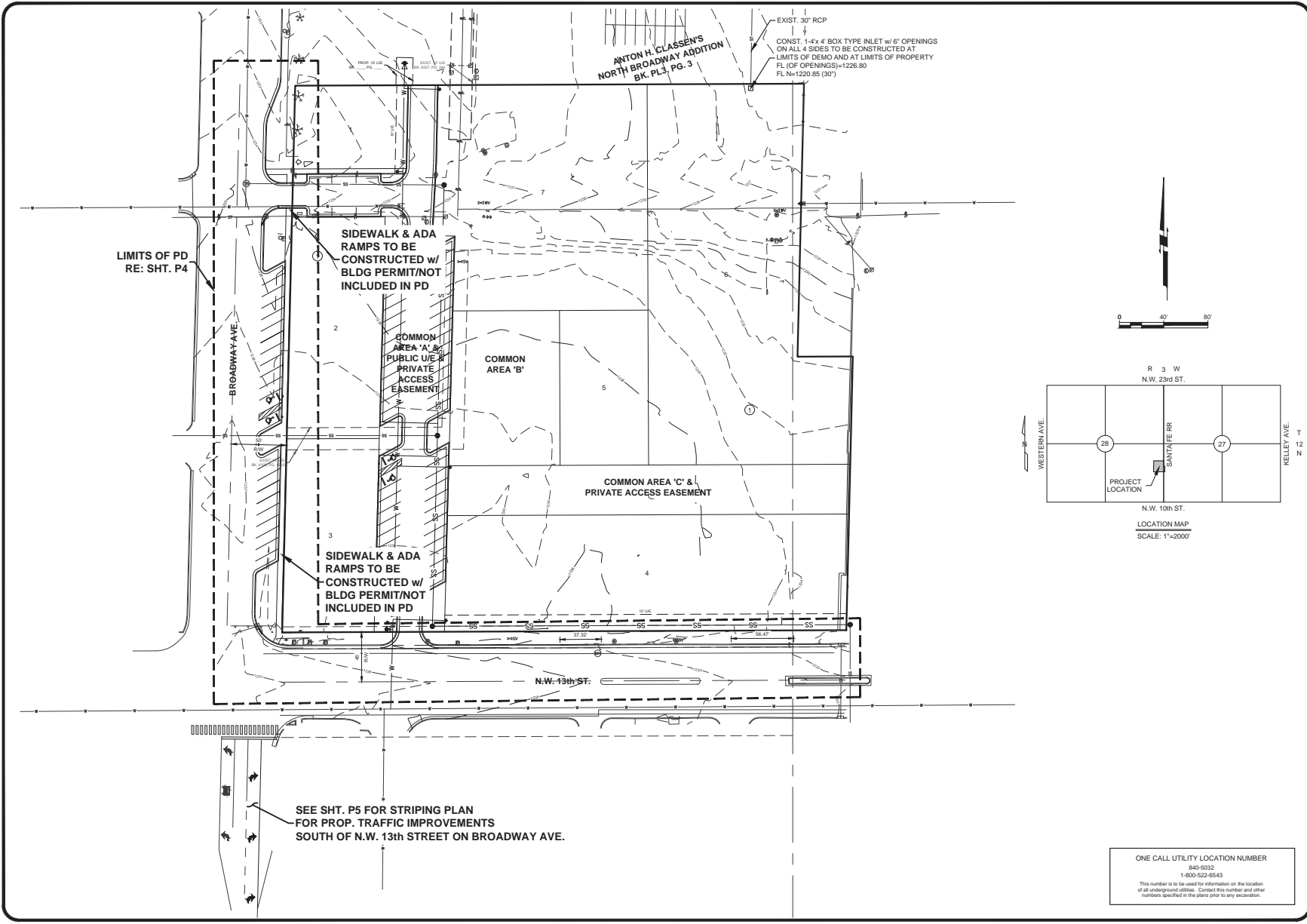
APPROVED:

City Engineer: _____ Date: _____
 ALLEY NORTH PHASE 1 PD- _____

SWQ PERMIT: SWC-_____	BILLING ADDRESS
BLDC: BLDC-_____	PIVOT REAL ESTATE DEVELOPMENT 301 N.W. 13th ST, SUITE 202 OKC, OK 73103

<input type="checkbox"/> BELOW FOR CITY USE ONLY	BUILDING ADDRESS	BENCHMARK & VERTICAL DATUM
<input type="checkbox"/> FPAT REQUIRED		Benchmark by Johnson & Associates Set On/Around Site:
<input type="checkbox"/> EASEMENT(S) REQUIRED		Original Benchmark: Source: City of Oklahoma City GPS Datum Horizontal Datum: NAD83/CGRS 80; NGS 2007 Vertical Datum: NAVD83; CGD03 03
<input type="checkbox"/> DRIVEWAY WIDTH APPROVAL	N/A	Benchmark # 450 Northing: 17820.39 Easting: 211334.48 Elevation: 1233.96
<input type="checkbox"/> STORM SEWER TAP PERMITS		Description: Located on the North side of NW 14th Street approx. 175' East of the centerline of roadway, 10' NE of no parking sign and 5' South of sidewalk
<input type="checkbox"/> REVOCABLE PERMITS		Benchmark # 234 Northing: 17517.889 Easting: 212247.116 Elevation: 1243.928 Description: Approximately 25' Edge of the CL of Jordan Ave. and 18' North of the CL of 47th St. Object: OKC 2" Diameter Aluminum Cap

2024 F&E 11-032829001-PROJ-103000-PO-Reg-103000-23-00-Sub-1000
 58273 L04022 - 030401-0020-Reg-103000-FR1-Reg-103000-140-Reg-103000-LOC-Reg-103000-1C-QUANTITIES.dwg



LIMITS OF PD
RE: SHT. P4

ANTON H. CLASSENS
NORTH BROADWAY ADDITION
BK. PL3, PG. 3

SIDEWALK & ADA
RAMP TO BE
CONSTRUCTED w/
BLDG PERMIT/NOT
INCLUDED IN PD

COMMON
AREA 'A' &
PUBLIC U/E &
PRIVATE
ACCESS
EASEMENT

COMMON
AREA 'B'

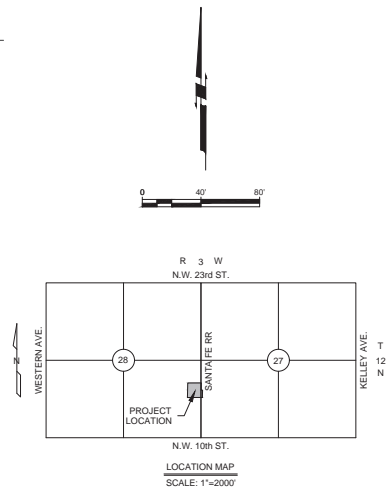
COMMON AREA 'C' &
PRIVATE ACCESS EASEMENT

SIDEWALK & ADA
RAMP TO BE
CONSTRUCTED w/
BLDG PERMIT/NOT
INCLUDED IN PD

N.W. 13th ST.

SEE SHT. P5 FOR STRIPING PLAN
FOR PROP. TRAFFIC IMPROVEMENTS
SOUTH OF N.W. 13th STREET ON BROADWAY AVE.

EXIST. 30" RCP
CONST. 4"x4" 4' BOX TYPE INLET w/ 6" OPENINGS
ON ALL 4 SIDES TO BE CONSTRUCTED AT
LIMITS OF DEMO AND AT LIMITS OF PROPERTY
FL (OF OPENINGS)=1226.80
FL N=1220.85 (30')



ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-8543
This number is to be used for information on the location
of all underground utilities. Contact this number and other
numbers specified in the plans prior to any excavation.

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NO.	REVISIONS DESCRIPTION	DATE

Johnson & Associates
 1 E Oklahoma City, OK 73104
 (405) 944-1100
 Contract & Professional Seal Exp. Date 08-30-2025
 ENGINEERS • SURVEYORS • PLANNERS

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
**PAVING & STORM SEWER
 GENERAL LAYOUT**

Proj. No.: PD
 Date: 06-12-24
 Scale: 1"=40'
 Checked By: _____
 Approved By: _____

SHEET NUMBER
P2

FINAL PLAT
of
ALLEY NORTH PHASE 1

BEING A REPLAT OF ALL OF BLOCK 3, ALL OF LOT 26 BLOCK 2, AND A PORTION OF
LOTS 25, 27-38 BLOCK 2 OF ANTON H. CLASSEN'S NORTH BROADWAY ADDITION
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, IM
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That OPERATIONREADYMX, LLC, an Oklahoma Limited Liability Company, hereby certifies that they are the owner of, and the only persons, firms or companies having title or interest in and to the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma. They have caused the same to be surveyed and platted into lots, as shown on said Final Plat, which said Final Plat represents a correct survey of all property included therein under the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, being a part of the Southeast Quarter (SE/4) of Section Twenty-Eight (28) and of the Southwest Quarter of (SW/4) of Section Twenty-Seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma County, Oklahoma.

They further certify that they are the owners of and the only persons, firms or companies who has any right, title or interest to the land included in the above mentioned Final Plat, and they do hereby dedicate all street rights-of-way and utility easements as shown on said Final Plat to the public, for public streets, public drainage and public utilities for their heirs, executors, administrators, successors and assigns forever and have caused the same to be released from all encumbrances to be executed on this ____ day of _____, 2024.

Signed by the Manager this ____ day of _____, 2024.

OPERATIONREADYMX, LLC

By: _____
William T. Strange, Manager

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS

Before me, the undersigned, a notary public in and for said county and state on this ____ day of _____, 2024, personally appeared William T. Strange, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its Manager, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such company for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

My Commission No.: _____

CERTIFICATE OF PLANNING COMMISSION

I, _____, Planning Director for the City of Oklahoma City, hereby certify that the City of Oklahoma City Planning Commission duly approved the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma at a meeting the ____ day of _____, 2024.

Planning Director

CERTIFICATE OF CITY CLERK

I, _____, City Clerk of the City of Oklahoma City, Oklahoma County, Oklahoma, hereby certify that I have examined the records of said City and find that all deferred payments on unratified installments upon special assessment have been paid in full and that there are no special assessment procedures now pending against the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma.

Signed by the City Clerk this ____ day of _____, 2024.

City Clerk

ACCEPTANCE OF DEDICATION BY CITY COUNCIL

Be It resolved by the Council of the City of Oklahoma City that the dedication shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma is hereby accepted.

Adopted by the Council of the City of Oklahoma City this ____ day of _____, 2024.

City Clerk

Mayor

BONDED ABTRACTOR'S CERTIFICATE

The undersigned, a duly qualified and lawfully bonded abstractor of titles in and for Oklahoma County and the State of Oklahoma, hereby certify that the records of said county show that the Title to the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma is vested in OPERATIONREADYMX, LLC, on the ____ day of _____, 2024, that there are no actions pending or judgements of any nature in any court or on file with the clerk thereof, that the taxes are paid for the year 2023 and prior years, that there are no outstanding tax sales certificates against said land and no tax deeds are issued to any person, that there are no liens, or other encumbrances of any kind against the land included in the Final Plat, except mortgages, rights-of-way, easements, and mineral conveyances of record.

In witness thereof, said Bonded Abstractor has caused this instrument to be executed this ____ day of _____, 2024.

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS

Before me, the undersigned, a notary public in and for said county and state on this ____ day of _____, 2024, personally appeared _____, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its _____, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such corporation for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

My Commission No.: _____

COUNTY TREASURER'S CERTIFICATE

I, _____, do hereby certify that I am the duly qualified and acting County Treasurer of Oklahoma County and that the tax records of said county show that all taxes for the year 2023 and prior years are paid on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, and that the required statutory security has been deposited in the offices of the County Treasurer guaranteeing the current year's taxes.

In witness thereof said County Treasurer has caused this instrument to be executed this ____ day of _____, 2024.

County Treasurer

REGISTERED PROFESSIONAL LAND SURVEYOR'S CERTIFICATE

I, Matthew Johnson, a Professional Land Surveyor in the State of Oklahoma, do hereby certify that the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, consisting of 2 sheets, represents a careful survey made under my supervision on the ____ day of _____, 2024, and that the plat of survey is an accurate representation of said survey and that all monuments shown hereon actually exist.

I further certify that this plat of survey meets the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted by the Oklahoma State Board of Registration for Professional Engineers and Land Surveyors.

Witness my hand and seal this ____ day of _____, 2024.

Matthew Johnson, P.L.S. No. 1807

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS

Before me, the undersigned, a notary public within and for said county and state, personally appeared Matthew Johnson, to me known to be the identical person who executed the within and foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

My Commission No.: _____

PROPERTY DESCRIPTION

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-eight (28) and the Southwest Quarter (SW/4) of Section Twenty-seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, and being all of Block Three (3), all of Lot Twenty-six (26) in Block Two (2) together with portions of Lot Twenty-five (25), Lots Twenty-seven (27) through Thirty-eight (38) and a portion of the vacated Alley adjacent thereto, all in Block Two (2) and all of vacated N.W. 14th Street of ANTON H. CLASSEN'S NORTH BROADWAY ADDITION according to the Plat recorded in Book PL3, Page 3, being more particularly described as follows:

BEGINNING at the Southwest (SW) Corner of Lot 21 in said Block 3;

THENCE North 01°21'44" East, along and with the West lines of said Blocks 3 and 2, a distance of 494.33 feet to a point 49.29 feet North of the Southwest (SW) Corner of Lot 26 of said Block 2;

THENCE North 89°46'35" East, departing the West line of said Block 2, a distance of 459.98 feet to a point on the East line of said Block 2, said point being 49.29 feet North of the Southeast (SE) Corner of Lot 38 of said Block 2;

THENCE along and with the East lines of said Blocks 2 and 3, the following 3 calls:

1. South 01°21'44" West, a distance of 246.83 feet;
2. North 89°46'35" East, a distance of 50.02 feet;
3. South 01°21'44" West, a distance of 247.50 feet to the Southeast (SE) Corner of said Block 3;

THENCE South 89°46'35" West, along and with the South line of said Block 3, a distance of 510.00 feet to the POINT OF BEGINNING.

Containing 239,669 square feet or 5,5020 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). All Distances are grid distances in U.S. Survey Feet.

This property description was prepared on the ____ day of _____, 2024, by Matthew Johnson, Licensed Professional Surveyor, No. 1807.

FINAL PLAT
of

ALLEY NORTH PHASE 1



Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 233-8979 FAX: (405) 233-8978 www.ja-plc.com
Certificate of Authorization #1484 Exp. Date: 08-30-2025

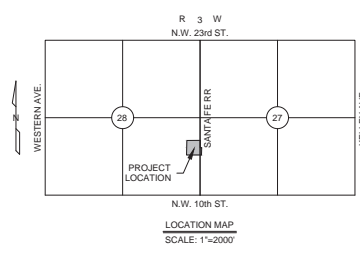
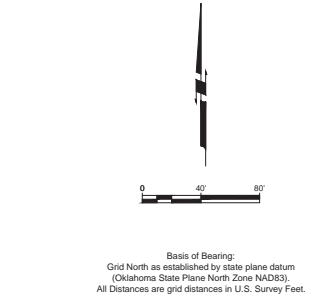
ENGINEERS • SURVEYORS • PLANNERS •

OWNER'S NOTARY	CITY CLERK	ABSTRACTOR	ABSTRACTOR'S NOTARY	COUNTY TREASURER	SURVEYOR	SURVEYOR'S NOTARY

FINAL PLAT of ALLEY NORTH PHASE 1

BEING A REPLAT OF ALL OF BLOCK 3, ALL OF LOT 26 BLOCK 2, AND A PORTION OF
LOTS 25, 27-38 BLOCK 2 OF ANTON H. CLASSEN'S NORTH BROADWAY ADDITION
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, 1M
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

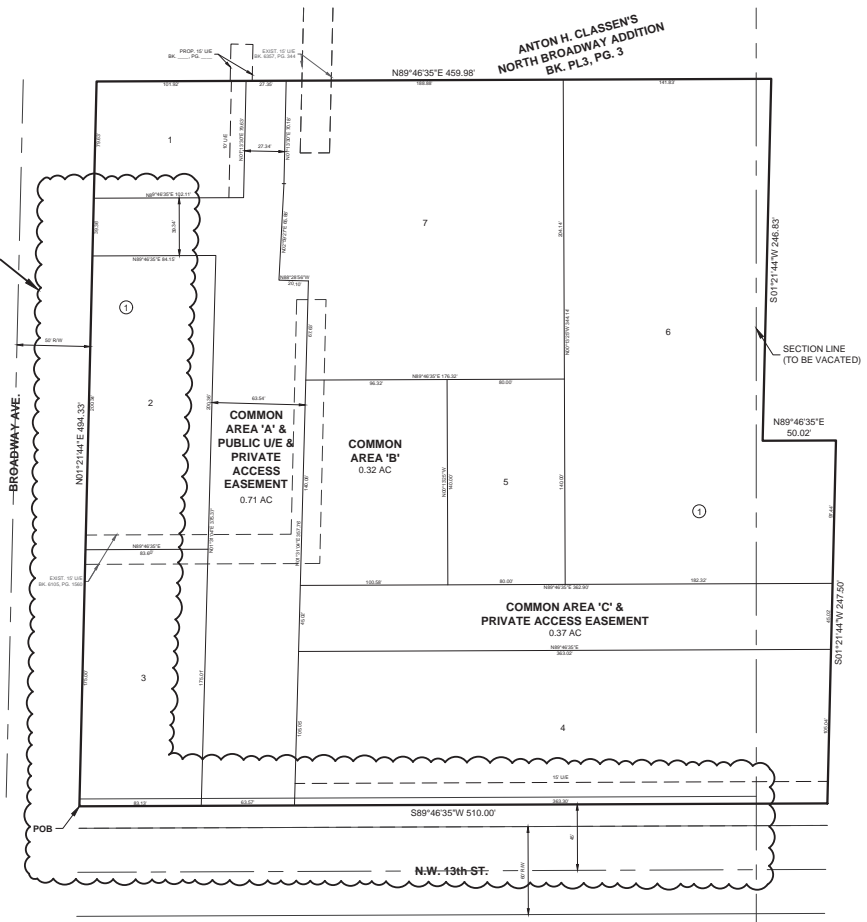
ANTON H. CLASSEN'S
NORTH BROADWAY ADDITION
BK. PL.3, PG. 3



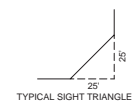
***** NOTE *****

THIS SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYORS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS; AND THAT SAID FINAL PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 11 SECTION 41-108 OF THE OKLAHOMA STATE STATUTES.

PROJECT AREA



- NOTES:**
- All islands/medians within street rights-of-way, and arterial landscaping with its irrigation system, shall be maintained by the Property Owners Association within ALLEY NORTH PHASE 1.
 - Maintenance of all common areas and private drainage easements within ALLEY NORTH PHASE 1 shall be the responsibility of the Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that may cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.



- LEGEND:**
- POB = POINT OF BEGINNING
 - R/W = RIGHT OF WAY
 - U/E = PUBLIC UTILITY EASEMENT
 - D/E = PUBLIC DRAINAGE EASEMENT
 - D & U/E = DRAINAGE & UTILITY EASEMENT

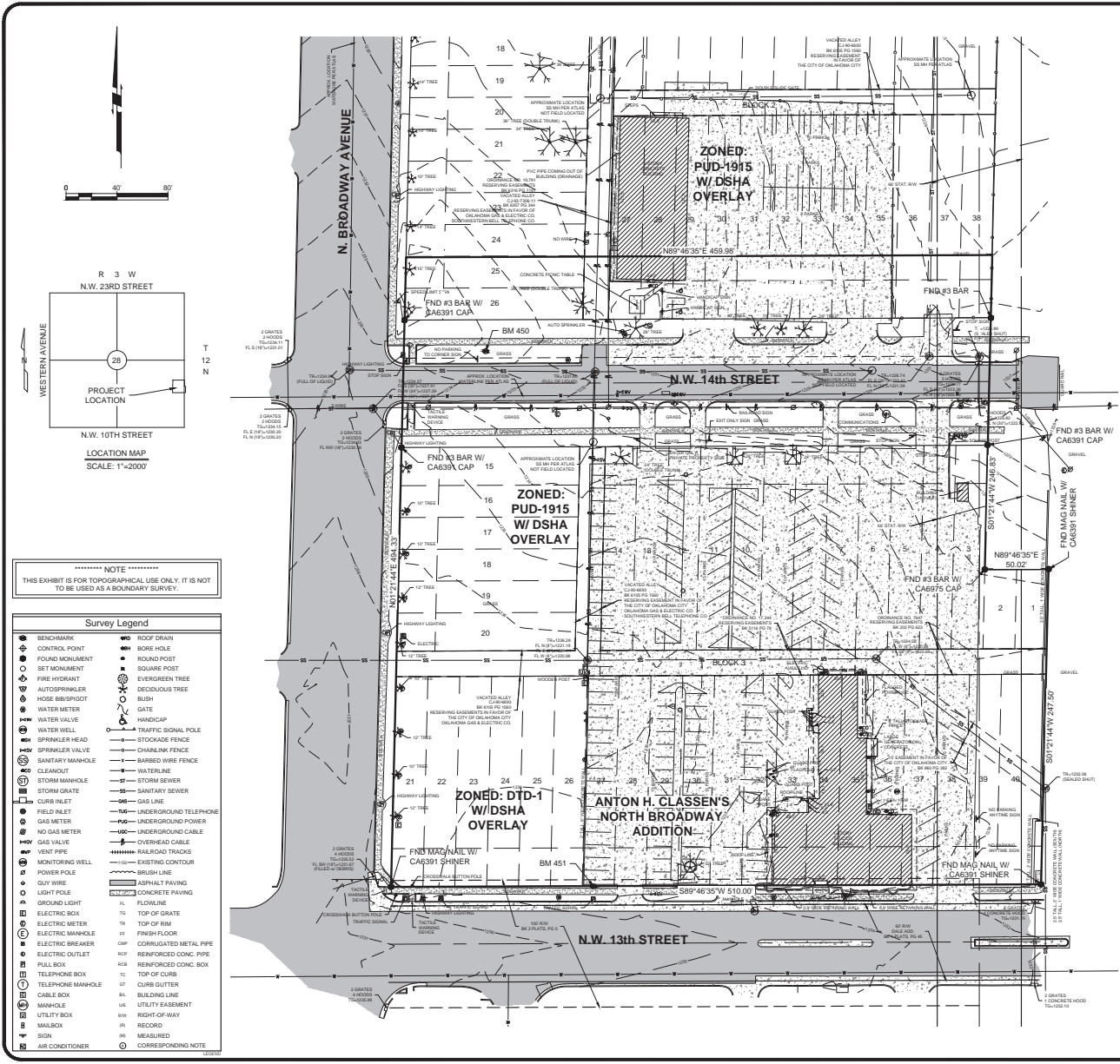
- DENOTES FND. #3 BAR w/CAP STAMPED "J&A 1484" UNLESS OTHERWISE NOTED
- DENOTES SET #3 BAR w/CAP STAMPED "J&A 1484" UNLESS OTHERWISE NOTED
- △ DENOTES SET NAIL "1484 J&A SHINER" UNLESS OTHERWISE NOTED

TOTAL NUMBER OF LOTS = 7
TOTAL COMMON AREA ACRES = 1.40 AC

FINAL PLAT
of
ALLEY NORTH PHASE 1

Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 233-8979 FAX: (405) 234-8775 www.jandco.com
Certificate of Authorization #1484 Exp. Date: 08-30-2025

ENGINEERS • SURVEYORS • PLANNERS •



Certificate of Survey

I, Matthew Johnson, certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision. The field work was completed on March 19, 2024. All coordinates are based on Oklahoma State Plane North Zone NAD83 and all elevations are based on NAVD83.

Date: June 5, 2024



Matthew Johnson, P.L.S.
 Registration No. 1807
JOHNSON & ASSOCIATES
 Certificate of Authorization No. 1494

Surveyor's Note:

The utilities shown herein have been located in the field by above ground inspection only. The underground utilities shown herein have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown herein comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown herein are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities. A Call OKEE request was made on March 13, 2024 with a ticket numbers of 24031916003712, 24031916123747, 24031916383909, 24031916423840, 24031916453964, 24031916473965. All utilities that were marked at the time the field work was performed have been located and are shown on the survey.

No portion of the property shown on the survey lies within a Special Hazard Area, as described on the Flood Insurance Rate map for the community in which the subject property is located. The entire parcel lies within Zone "X" of the Federal Emergency Management Agency Community Panel Number 40109C0285H Map with an effective date of December 18, 2009.

The subject tract is currently zoned PUD-1915 AND DTD-1 with DSHA overlay.

Source: The City of Oklahoma City, Oklahoma Planning Department website at www.okc.gov, Phone: 405-297-2923 for more information about Building Height, setback and parking restrictions for this zoning.

All Horizontal coordinate values shown are U.S. Survey feet and all vertical elevation values are shown in feet. The Basis of Bearing is Oklahoma State Plane North Zone NAD83. All distances are Grid distances. Vertical datum is NAVD83. The original Benchmark is Oklahoma City Monument 234.

Original Benchmark:
 Source: City of Oklahoma City GPS Datum
 Horizontal Datum: NAD83/CORS 98, NRS 5 2007
 Vertical Datum: NAVD83, GEOID 03

Benchmark # 234
 Northing: 17573.689
 Easting: 212247.116
 Elevation: 1243.059
 Description: Approximately 25' East of the CL of Jordan Ave. and 18' North of the CL of NE 11th St.
 Object: OKC 2' Diameter Aluminum Cap

Benchmarks by Johnson & Associates

Set On/Down Sta:
 Benchmark # 450
 Northing: 17840.36
 Easting: 211334.48
 Elevation: 1233.84
 Description: Located on the North side of NW 14th Street approx. 115' East of the centerline of Broadway, 10' NE of iron parking sign and 5' South of sidewalk
 Object: #4 bar with J&A Control Cap

Benchmark # 451
 Northing: 17800.21
 Easting: 211949.13
 Elevation: 1256.41
 Description: Located on the North side of NW 13th Street approx. 202' East of the centerline of Broadway, 10' North of traffic signal box in the grass North of sidewalk and South of parking lot
 Object: #4 bar with J&A Control Cap

Benchmark # 452
 Northing: 17723.23
 Easting: 211332.43
 Elevation: 1211.89
 Description: Located on the South side of NW 14th Street approx. 55' East of the centerline of Broadway, on the corner of a 90 degree in sidewalk
 Object: Mag Nail with J&A control cap

***** NOTE *****
 THIS EXHIBIT IS FOR TOPOGRAPHICAL USE ONLY. IT IS NOT TO BE USED AS A BOUNDARY SURVEY.

Survey Legend	
	BENCHMARK
	CONTROL POINT
	FOUND MONUMENT
	SET MONUMENT
	FIRE HYDRANT
	AUTO SPRINKLER
	HOSE SPRIG/SPOT
	WATER METER
	WATER VALVE
	SPRINKLER HEAD
	SPRINKLER VALVE
	SANITARY MANHOLE
	CLEANOUT
	STORM MANHOLE
	STORM GRATE
	CURB INLET
	FIELD INLET
	GAS METER
	NO GAS METER
	GAS VALVE
	VENT PIPE
	MONITORING WELL
	POWER POLE
	GUY WIRE
	LIGHT POLE
	GROUND LIGHT
	ELECTRIC BOX
	ELECTRIC METER
	ELECTRIC MANHOLE
	ELECTRIC BREAKER
	ELECTRIC OUTLET
	PULL BOX
	TELEPHONE BOX
	TELEPHONE MANHOLE
	CABLE BOX
	MANHOLE
	UTILITY BOX
	MAILBOX
	SIGN
	AIR CONDITIONER
	ROOF DRAIN
	BORE HOLE
	ROUND POST
	SQUARE POST
	EVERGREEN TREE
	DECIDUOUS TREE
	BUSH
	GATE
	HANDICAP
	TRAFFIC SIGNAL POLE
	STOCKADE FENCE
	CHAINLINK FENCE
	BARBED WIRE FENCE
	WATERLINE
	STORM SEWER
	SANITARY SEWER
	GAS LINE
	UNDERGROUND TELEPHONE
	UNDERGROUND POWER
	OVERHEAD CABLE
	EXISTING CONTOUR
	BRUSH LINE
	ASPHALT PAVING
	CONCRETE PAVING
	FLOWLINE
	TOP OF GRATE
	TOP OF RIM
	FINISHED FLOOR
	CORRUGATED METAL PIPE
	REINFORCED CONC. PIPE
	REINFORCED CONC. BOX
	TOP OF CURB
	CURB GUTTER
	BUILDING LINE
	UTILITY EASEMENT
	RIGHT-OF-WAY
	RECORD
	MEASURED
	CORRESPONDING NOTE

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REVISIONS	DESCRIPTION	DATE

Johnson & Associates
 1 E. Sheridan Ave., Suite 200
 Oklahoma City, OK 73104
 (405) 297-2923
 www.johnsonandassociates.com

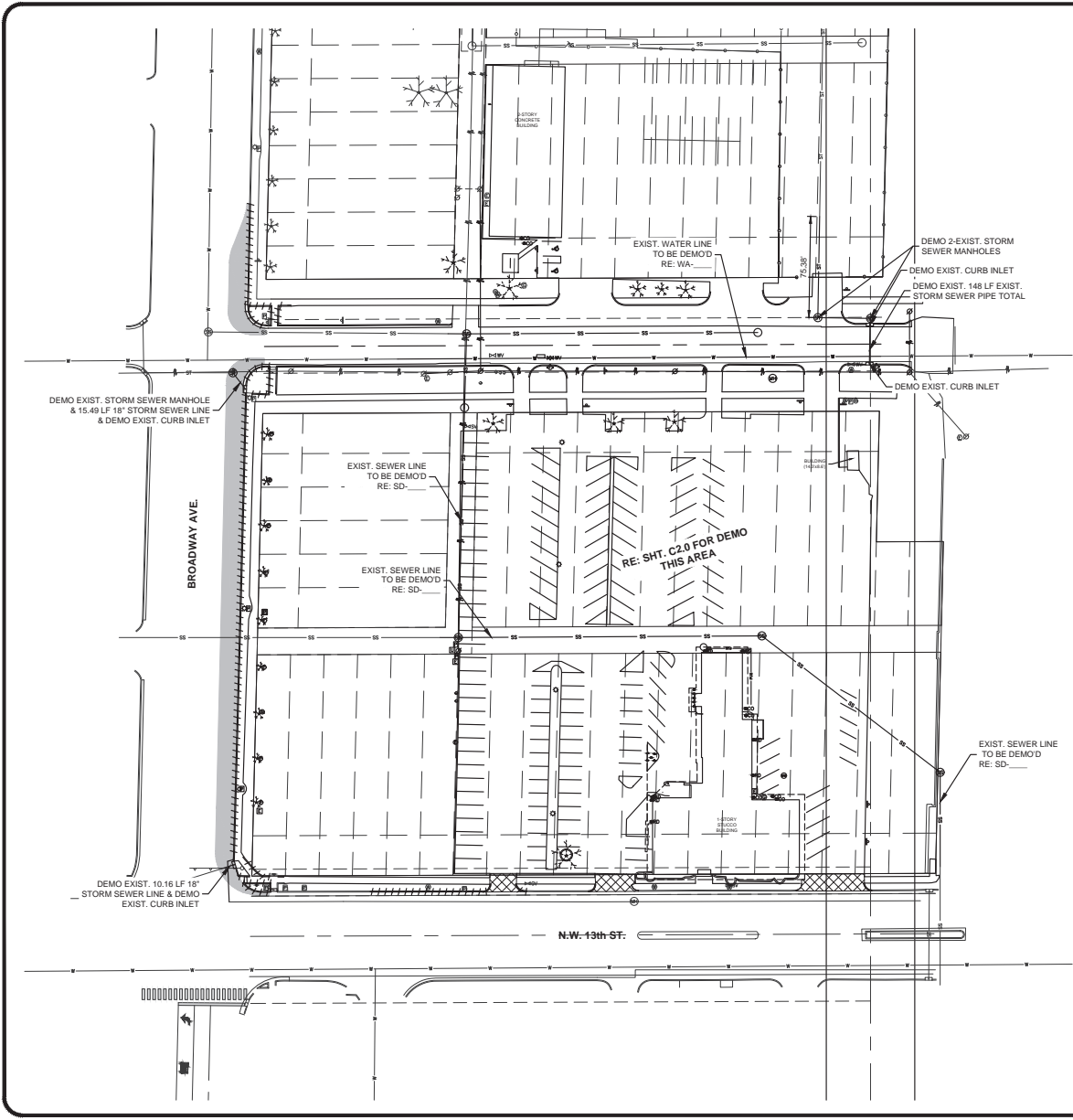
ENGINEERS • SURVEYORS • PLANNERS

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

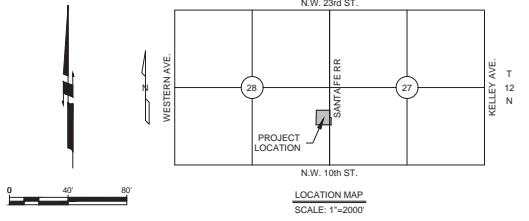
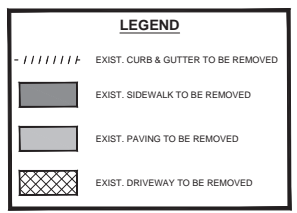
TOPOGRAPHIC SURVEY

Proj. No. 532901
 Date: 6-5-24
 Scale: 1"=40'
 Surveyed By: JMM
 Drawn By: JMM
 Approved By: MJ

SHEET NUMBER
TS



- DEMOLITION - GENERAL NOTES
- DEMOLITION CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND SHALL ACQUIRE ALL PERMITS NECESSARY TO COMPLETE THE PROJECT AS INDICATED ON THIS PLAN AND WITHIN THE CONTRACT.
 - ALL PAVING REMOVAL ON THE SUBJECT TRACT SHALL BE AS NOTED IN THE DESIGNATED AREA ON THE APPROVED PLAN.
 - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND NOTIFY ALL PUBLIC AGENCIES OF THE NECESSITY TO REMOVE OR RELOCATE ANY PUBLIC UTILITIES. IT IS RECOMMENDED THAT ALL PUBLIC UTILITIES SHALL REMAIN INTACT IN THEIR LOCATION AND IN FULL OPERATING CONDITIONS. IF THE CONTRACTOR HAS A CONFLICT WITH A UTILITY THAT WILL PREVENT HIM FROM COMPLETING THIS CONTRACT, HE SHALL NOTIFY IMMEDIATELY THE ENGINEER OR OWNER. CONTRACTOR SHALL SATISFY HIMSELF AS TO THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THIS PLAN AND SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO DEMOLITION.
 - THE DEMOLITION CONTRACT SHALL ALSO INCLUDE THE REMOVAL AND/OR PLUGGING AND ABANDONMENT OF PRIVATE UTILITIES LOCATED IN THE DEMOLITION AREA. ALSO ANY SIGNS, LIGHTS OR APPURTENANCES INSIDE OF THE DEMOLITION AREA SHALL BE REMOVED OR RELOCATED AS NECESSARY.
 - INSTALL PERIMETER SILT FENCES AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO REMOVING TOPSOIL OR BEGINNING DEMOLITION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
 - A COPY OF THE EROSION CONTROL PLAN AND THE STORM WATER MANAGEMENT POLLUTION PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.



ONE CALL UTILITY LOCATION NUMBER
840-5232
1-800-522-6543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

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NO.	REVISIONS	DESCRIPTION	DATE

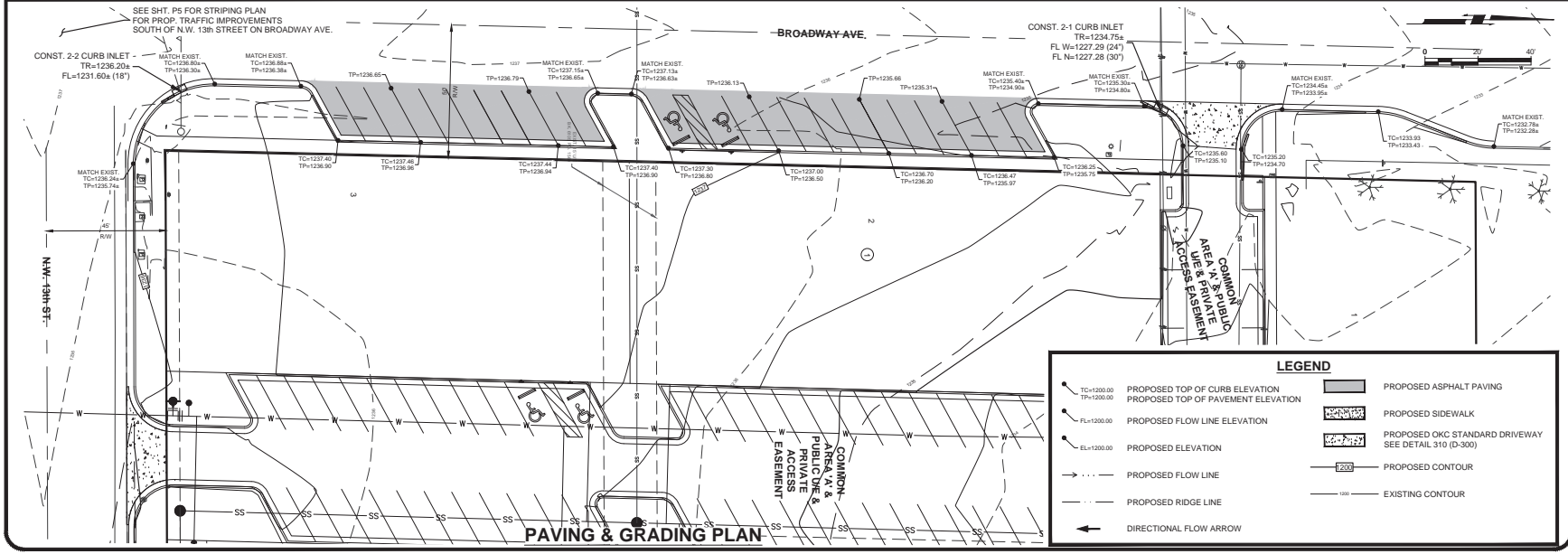
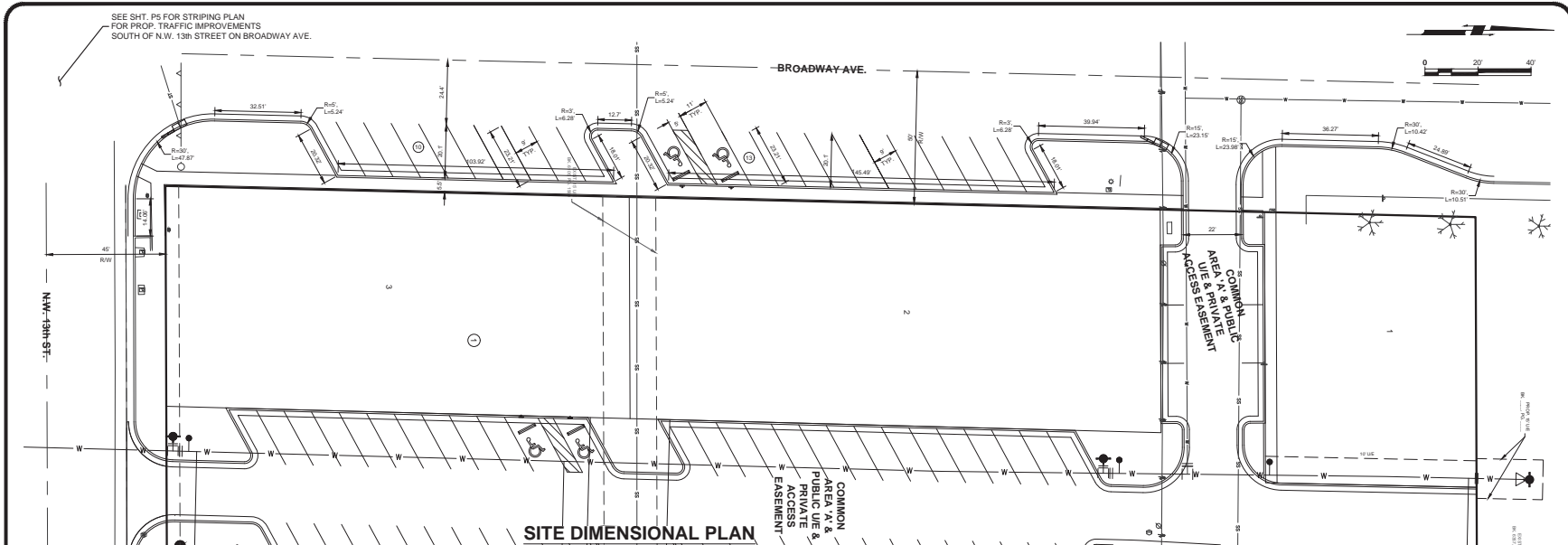
Johnson & Associates
1111
Oklahoma City, OK 73104
Professional Engineer License No. 10000
Professional Surveyor License No. 10000
• ENGINEER • SURVEYOR • PLANNER •

JA

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
DEMOLITION PLAN

Proj. No.: PD
Date: 06-12-24
Scale: 1"=40'
Checked By: _____
Approved By: _____

SHEET NUMBER
P3



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NO.	REVISIONS DESCRIPTION	DATE

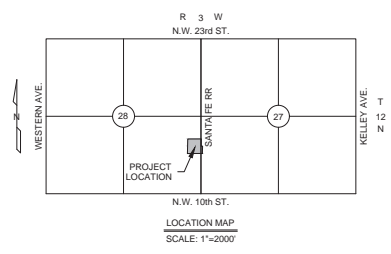
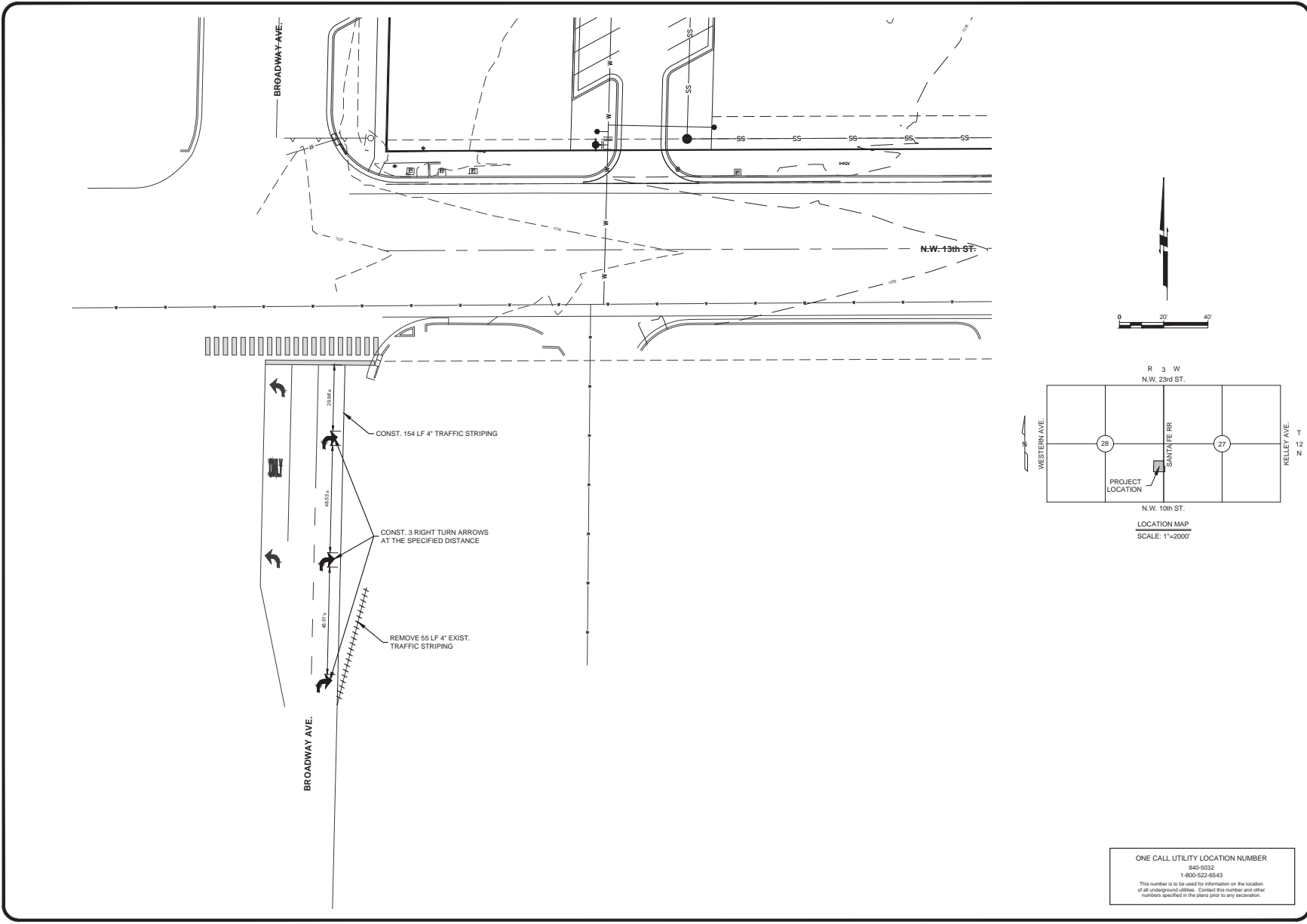
Johnson & Associates
1 E Oklahoma City, OK 73104
Professional Engineer License No. 5000000000
Contractor License No. 1000000000
• ENGINEER • SUPERVISOR • PLANNER •

JA

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
PAVING & STORM SEWER PLAN

Proj. No.: PD
Date: 06-12-24
Scale (Sheet): 1"=50'
(View)
Checked By:
Approved By:

SHEET NUMBER
P4



ONE CALL UTILITY LOCATION NUMBER
 840-5032
 1-800-522-8543
 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

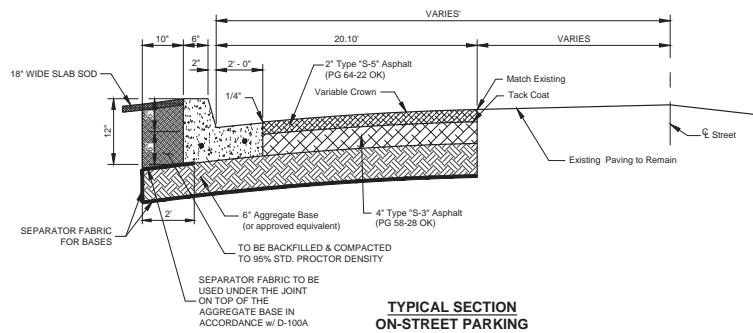
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 Johnson & Associates
 1 E Oklahoma City, OK 73104
 (405) 934-5500
 www.janet.com
 * ENGINEER * * SUPERVISOR * * PLANNER *

NO.	REVISIONS DESCRIPTION	DATE

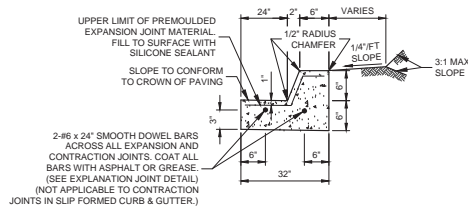
ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
STRIPING PLAN

Proj. No.:	PD
Date:	06-12-24
Scale:	1"=20'
Checked By:	
Approved By:	

SHEET NUMBER
P5

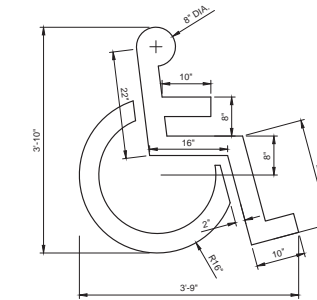


**TYPICAL SECTION
ON-STREET PARKING**

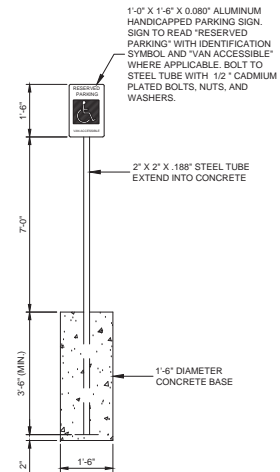


NOTE: MAXIMUM SPACING OF 1/2\"/>

6\"/>



HANDICAP PAVEMENT MARKING DETAIL
SCALE: N.T.S.



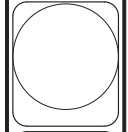
HANDICAP PARKING SIGN
SCALE: N.T.S.

ONE CALL UTILITY LOCATION NUMBER
840-5232
1-800-522-8543

This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

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NO.	REVISIONS DESCRIPTION	DATE



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1 E. Oklahoma City, OK 73104
Contractors of Professional Status Exp. Date 08-30-2025
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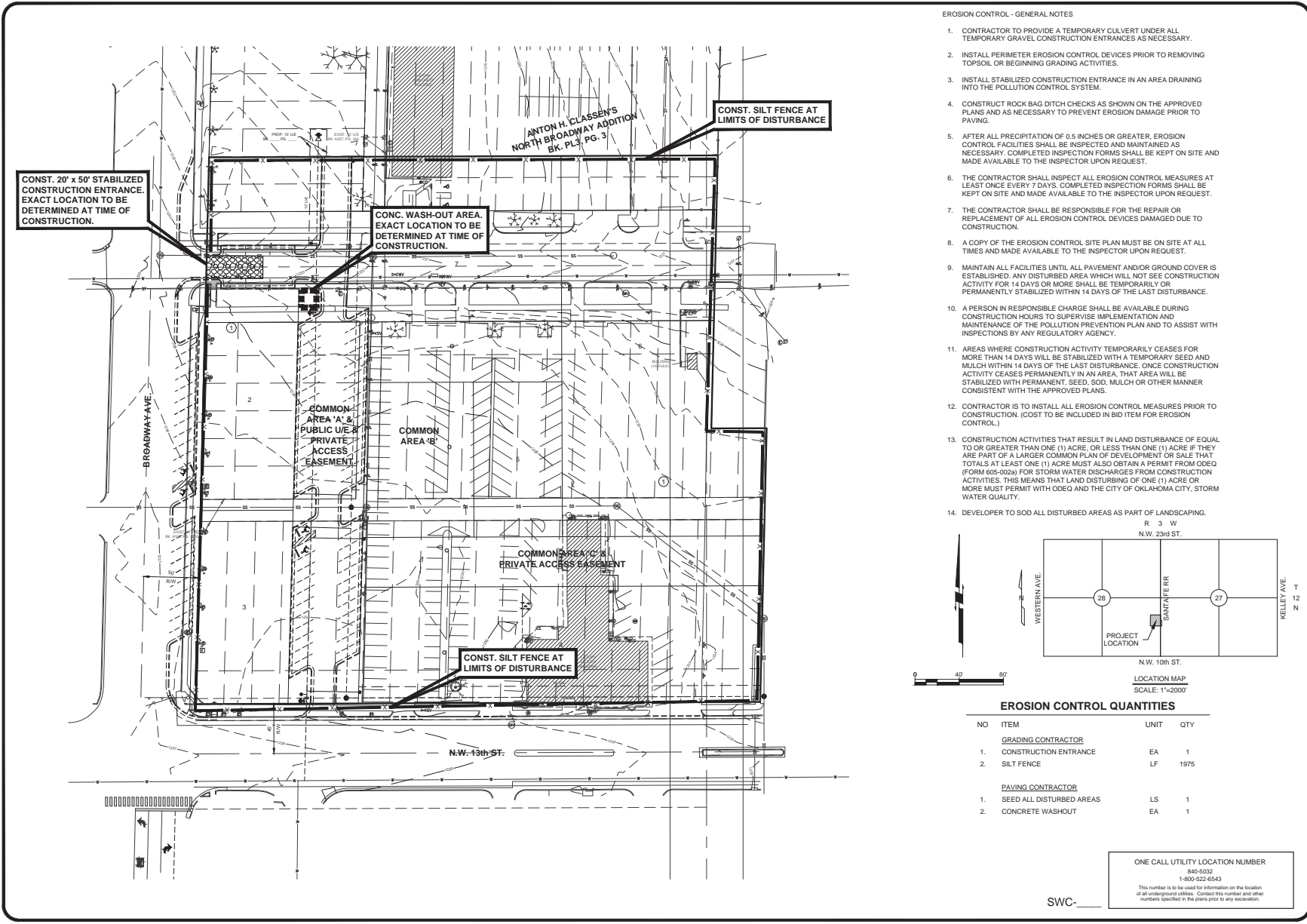


ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

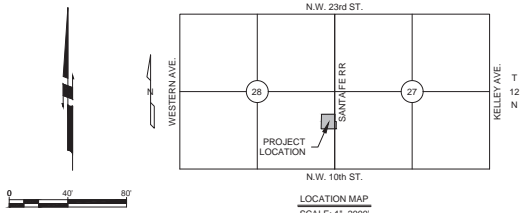
PAVING DETAILS

Proj. No. PD
Date: 06-12-24
Scale: N.T.S.
Checked By:
Approved By:

SHEET NUMBER
P6



- EROSION CONTROL - GENERAL NOTES
- CONTRACTOR TO PROVIDE A TEMPORARY CULVERT UNDER ALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES AS NECESSARY.
 - INSTALL PERIMETER EROSION CONTROL DEVICES PRIOR TO REMOVING TOPSOIL OR BEGINNING GRADING ACTIVITIES.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE IN AN AREA DRAINING INTO THE POLLUTION CONTROL SYSTEM.
 - CONSTRUCT ROCK BAG DITCH CHECKS AS SHOWN ON THE APPROVED PLANS AND AS NECESSARY TO PREVENT EROSION DAMAGE PRIOR TO PAVING.
 - AFTER ALL PRECIPITATION OF 0.5 INCHES OR GREATER, EROSION CONTROL FACILITIES SHALL BE INSPECTED AND MAINTAINED AS NECESSARY. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
 - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
 - A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
 - MAINTAIN ALL FACILITIES UNTIL ALL PAVEMENT AND/OR GROUND COVER IS ESTABLISHED. ANY DISTURBED AREA WHICH WILL NOT SEE CONSTRUCTION ACTIVITY FOR 14 DAYS OR MORE SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE.
 - A PERSON IN RESPONSIBLE CHARGE SHALL BE AVAILABLE DURING CONSTRUCTION HOURS TO SUPERVISE IMPLEMENTATION AND MAINTENANCE OF THE POLLUTION PREVENTION PLAN AND TO ASSIST WITH INSPECTIONS BY ANY REGULATORY AGENCY.
 - AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED, SOD, MULCH OR OTHER MANNER CONSISTENT WITH THE APPROVED PLANS.
 - CONTRACTOR IS TO INSTALL ALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. (COST TO BE INCLUDED IN BID ITEM FOR EROSION CONTROL.)
 - CONSTRUCTION ACTIVITIES THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE (1) ACRE, OR LESS THAN ONE (1) ACRE IF THEY ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT TOTALS AT LEAST ONE (1) ACRE MUST ALSO OBTAIN A PERMIT FROM ODEO (FORM 616-0026) FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. THIS MEANS THAT LAND DISTURBING OF ONE (1) ACRE OR MORE MUST PERMIT WITH ODEO AND THE CITY OF OKLAHOMA CITY, STORM WATER QUALITY.
 - DEVELOPER TO SOD ALL DISTURBED AREAS AS PART OF LANDSCAPING.



EROSION CONTROL QUANTITIES

NO	ITEM	UNIT	QTY
GRADING CONTRACTOR			
1.	CONSTRUCTION ENTRANCE	EA	1
2.	SILT FENCE	LF	1975
PAVING CONTRACTOR			
1.	SEED ALL DISTURBED AREAS	LS	1
2.	CONCRETE WASHOUT	EA	1

ONE CALL UTILITY LOCATION NUMBER
 800-552
 1-800-522-6543
 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

SWC-

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NO.	REVISIONS DESCRIPTION	DATE

REGISTERED PROFESSIONAL ENGINEER
THOMAS JOHNSON
 12237
 GENERAL DATE: 04/30/2024

Johnson & Associates, Inc.
 1000 N. Lincoln Blvd., Suite 200
 Oklahoma City, OK 73104
 (405) 241-1100
 www.johnsonandassociates.com
 • ENGINEER • SURVEYOR • PLANNER •

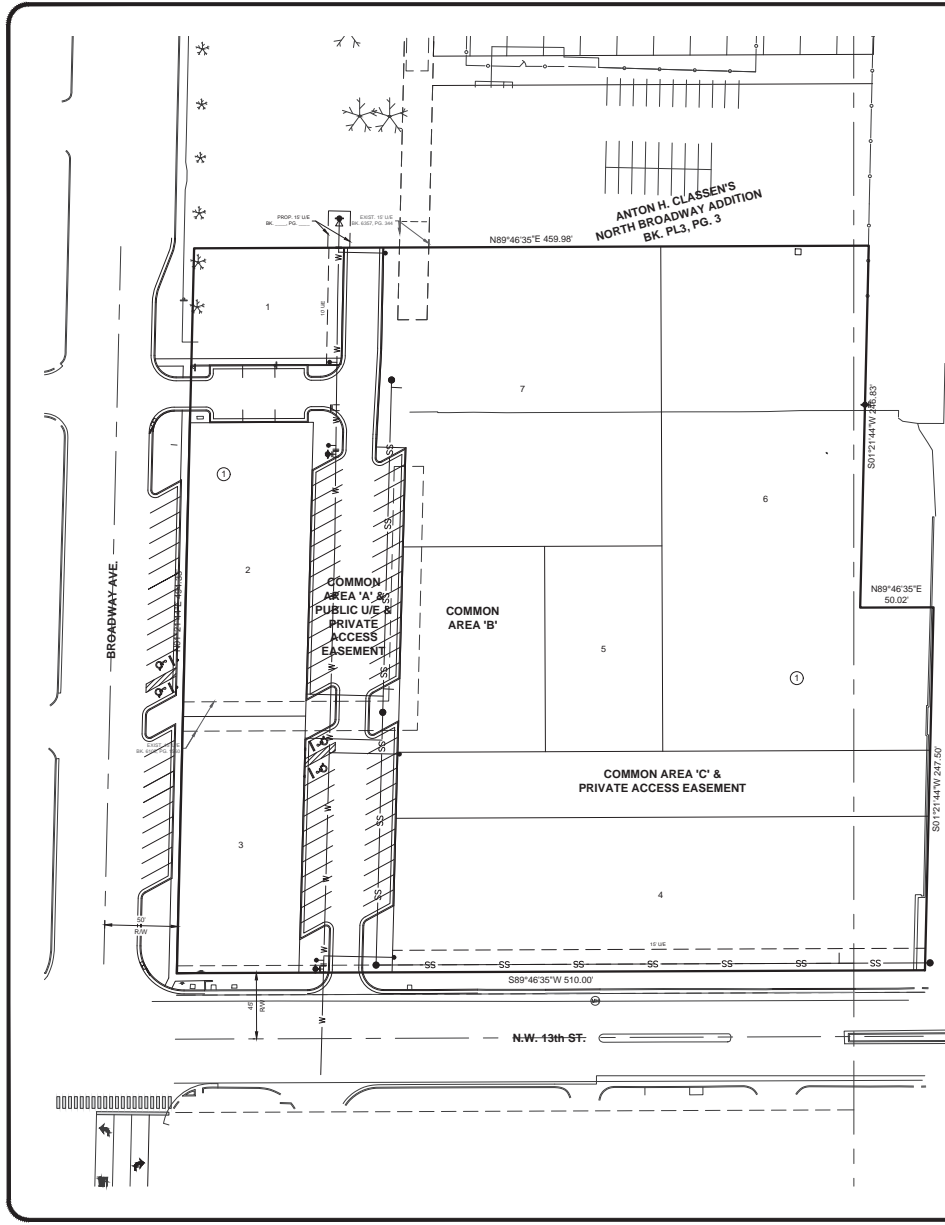
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ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
EROSION CONTROL PLAN

Proj. No.:
 Date: 06-12-24
 Scale: 1"=50'

Checked By:
 Approved By:

SHEET NUMBER
EC1



LEGAL DESCRIPTION

A tract of land being a part of the Southeast Quarter (SE¼) of Section Twenty-eight (28) and the Southwest Quarter (SW¼) of Section Twenty-seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma County, Oklahoma City, Oklahoma County, Oklahoma, and being all of Block Three (3), all of Lot Twenty-six (26) in Block Two (2) together with portions of Lot Twenty-five (25), Lots Twenty-seven (27) through Thirty-eight (38) and a portion of the vacated Alley adjacent thereto, all in Block Two (2) and all of vacated N.W. 14th Street of ANTON H. CLASSEN'S NORTH BROADWAY ADDITION according to the Plat recorded in Book PL.3, Page 3, being more particularly described as follows:

BEGINNING at the Southwest (SW) Corner of Lot 21 in said Block 3;
 THENCE North 01°21'44" East, along and with the West lines of said Blocks 3 and 2, a distance of 494.33 feet to a point 49.29 feet North of the Southwest (SW) Corner of Lot 26 of said Block 2;

THENCE North 89°46'35" East, departing the West line of said Block 2, a distance of 459.98 feet to a point on the East line of said Block 2, said point being 49.29 feet North of the Southeast (SE) Corner of Lot 38 of said Block 2;

THENCE along and with the East lines of said Blocks 2 and 3 the following 3 calls:

1. South 01°21'44" West, a distance of 246.83 feet;
2. North 89°46'35" East, a distance of 50.02 feet;
3. South 01°21'44" West, a distance of 247.50 feet to the Southeast (SE) Corner of said Block 3;

THENCE South 89°46'35" West, along with the South line of said Block 3, a distance of 510.00 feet to the POINT OF BEGINNING.

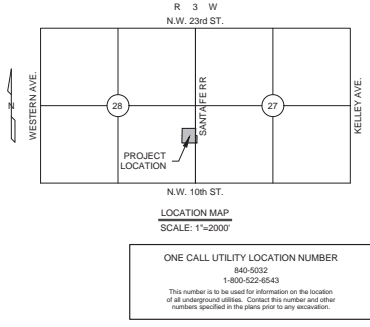
Containing 239,669 square feet or 5.5020 acres, more or less.
 Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). All Distances are grid distances in U.S. Survey Feet.

GENERAL NOTES

1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE SITE WORK SPECIFICATIONS. ANY WORK NOT COVERED IN THE SITE WORK SPECIFICATIONS SHALL CONFORM TO THE OKLAHOMA DEPARTMENT OF TRANSPORTATION CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
2. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
3. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STRIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS. ALL PARKING STRIPING SHALL BE WHITE.
4. UNLESS OTHERWISE STATED IN THE GENERAL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE ENGINEER FOR HIS REVIEW AND APPROVAL.
5. THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR MUST FILE A "NOTICE OF INTENT" WITH THE APPROPRIATE ADMINISTRATIVE AGENCY PRIOR TO COMMENCING EARTHWORK, CLEARING OR DEMOLITION OPERATIONS.
7. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL SITE PLAN DIMENSIONS AND MEASUREMENTS AND SHALL CONFIRM THE ACCURACY AND LOCATION OF THE PROJECT BOUNDARY PRIOR TO CONSTRUCTION. ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER-OF-RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
8. ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE SPECIFIED.
9. PARKING LOT LAYOUT IS PARALLEL AND PERPENDICULAR TO BUILDING ORIENTATION UNLESS OTHERWISE NOTED.
10. SEE ARCHITECTURAL & STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING AND PROPOSED MANHOLES, PULL BOXES AND UTILITY APERTURES PRIOR TO THE PROPOSED GRADES SHOWN ON THE GRADING PLAN.

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	OVERALL SITE GENERAL LAYOUT
TS	TOPOGRAPHIC SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE DIMENSIONAL PLAN
C4.0-C4.1	PAVING & GRADING PLAN
C5.0	UTILITY PLAN
C6.0	DETAILS
D-300	STANDARD TYPICAL SECTIONS DRIVEWAY DETAILS
D-700A	ADA CURB RAMP DETAILS
D-700B	ADA CURB RAMP DETAILS
D-800	STANDARD REPAIR DETAILS
EC1-EC2	EROSION CONTROL PLAN
P1-P6	PUBLIC PAVING PLAN
S1-S4	PUBLIC SANITARY SEWER PLAN
W1-W3	PUBLIC WATER LINE PLAN



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NO.	REVISIONS DESCRIPTION	DATE

GENERAL DATE: 04/30/2024

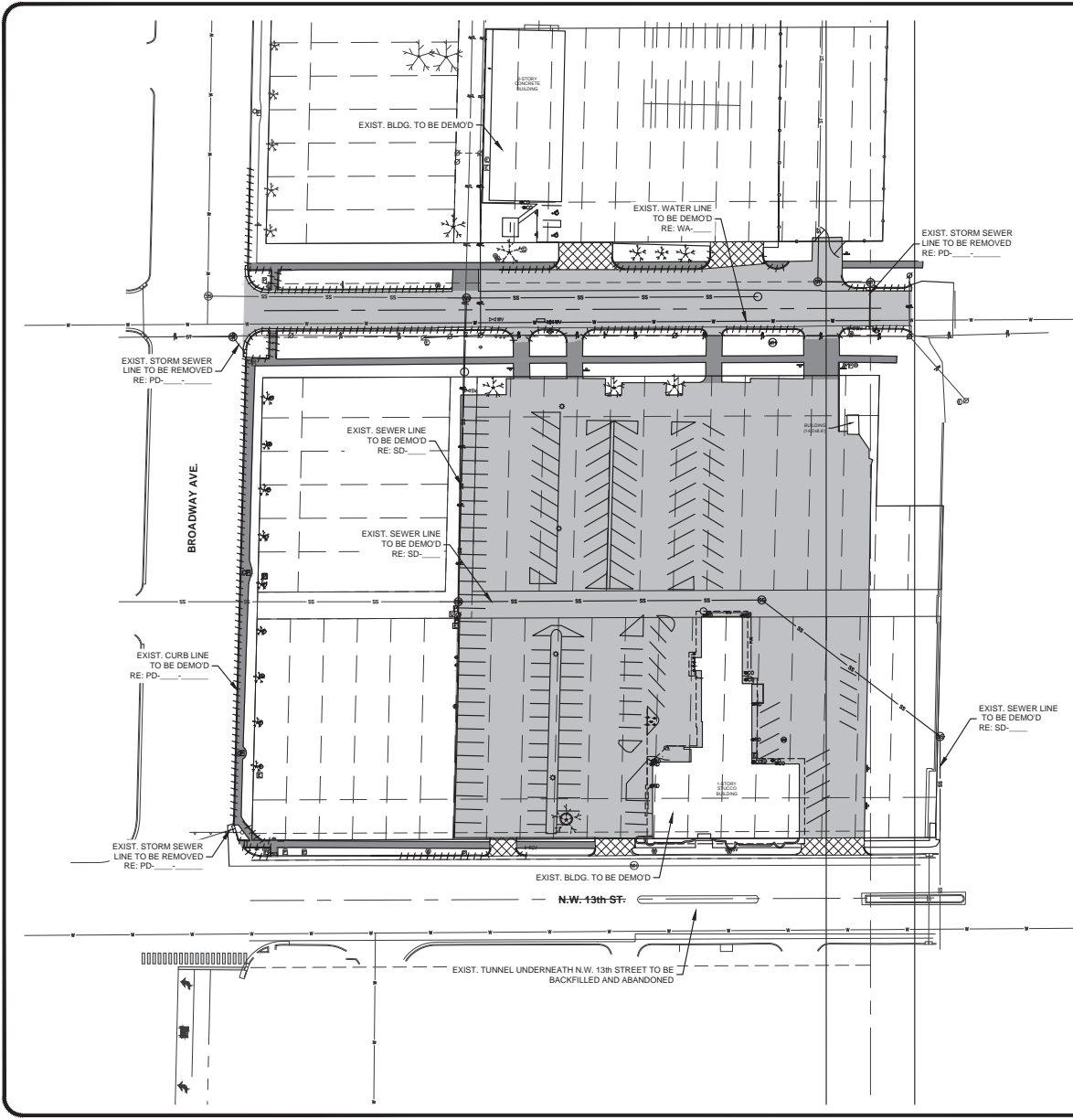
Johnson & Associates
 1 E Oklahoma Ave, Suite 200
 Oklahoma City, OK 73104
 (405) 241-1111
 Contracted by: [blank] Date: 04/30/2024
 ENGINEER • SUPERVISOR • PLANNER

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
 OVERALL GENERAL LAYOUT

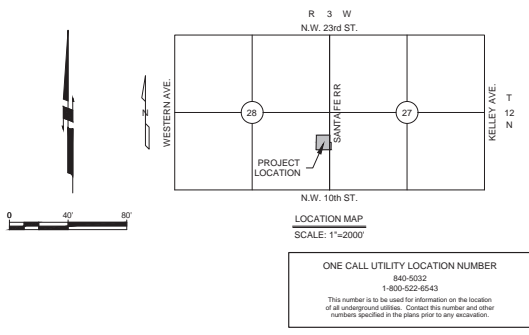
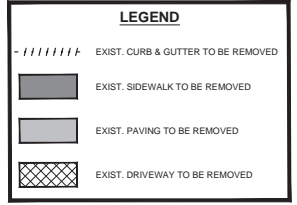
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Approved By:	

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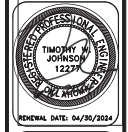
C1.0



- DEMOLITION - GENERAL NOTES
1. DEMOLITION CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND SHALL ACQUIRE ALL PERMITS NECESSARY TO COMPLETE THE PROJECT AS INDICATED ON THIS PLAN AND WITHIN THE CONTRACT.
 2. ALL PAVING REMOVAL ON THE SUBJECT TRACT SHALL BE AS NOTED IN THE DESIGNATED AREA ON THE APPROVED PLAN.
 3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND NOTIFY ALL PUBLIC AGENCIES OF THE NECESSITY TO REMOVE OR RELOCATE ANY PUBLIC UTILITIES. IT IS RECOMMENDED THAT ALL PUBLIC UTILITIES SHALL REMAIN INTACT IN THEIR LOCATION AND IN FULL OPERATING CONDITIONS. IF THE CONTRACTOR HAS A CONFLICT WITH A UTILITY THAT WILL PREVENT HIM FROM COMPLETING THIS CONTRACT, HE SHALL NOTIFY IMMEDIATELY THE ENGINEER OR OWNER. CONTRACTOR SHALL SATISFY HIMSELF AS TO THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THIS PLAN AND SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO DEMOLITION.
 4. THE DEMOLITION CONTRACT SHALL ALSO INCLUDE THE REMOVAL AND/OR PLUGGING AND ABANDONMENT OF PRIVATE UTILITIES LOCATED IN THE DEMOLITION AREA. ALSO ANY SIGNS, LIGHTS OR APPURTENANCES INSIDE OF THE DEMOLITION AREA SHALL BE REMOVED OR RELOCATED AS NECESSARY.
 5. INSTALL PERIMETER SILT FENCES AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO REMOVING TOPSOIL OR BEGINNING DEMOLITION ACTIVITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
 7. A COPY OF THE EROSION CONTROL PLAN AND THE STORM WATER MANAGEMENT POLLUTION PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.



NO.	REVISIONS DESCRIPTION	DATE



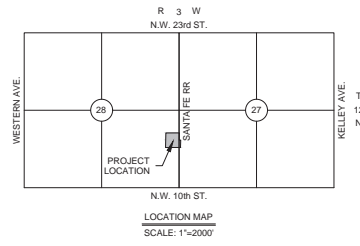
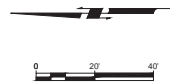
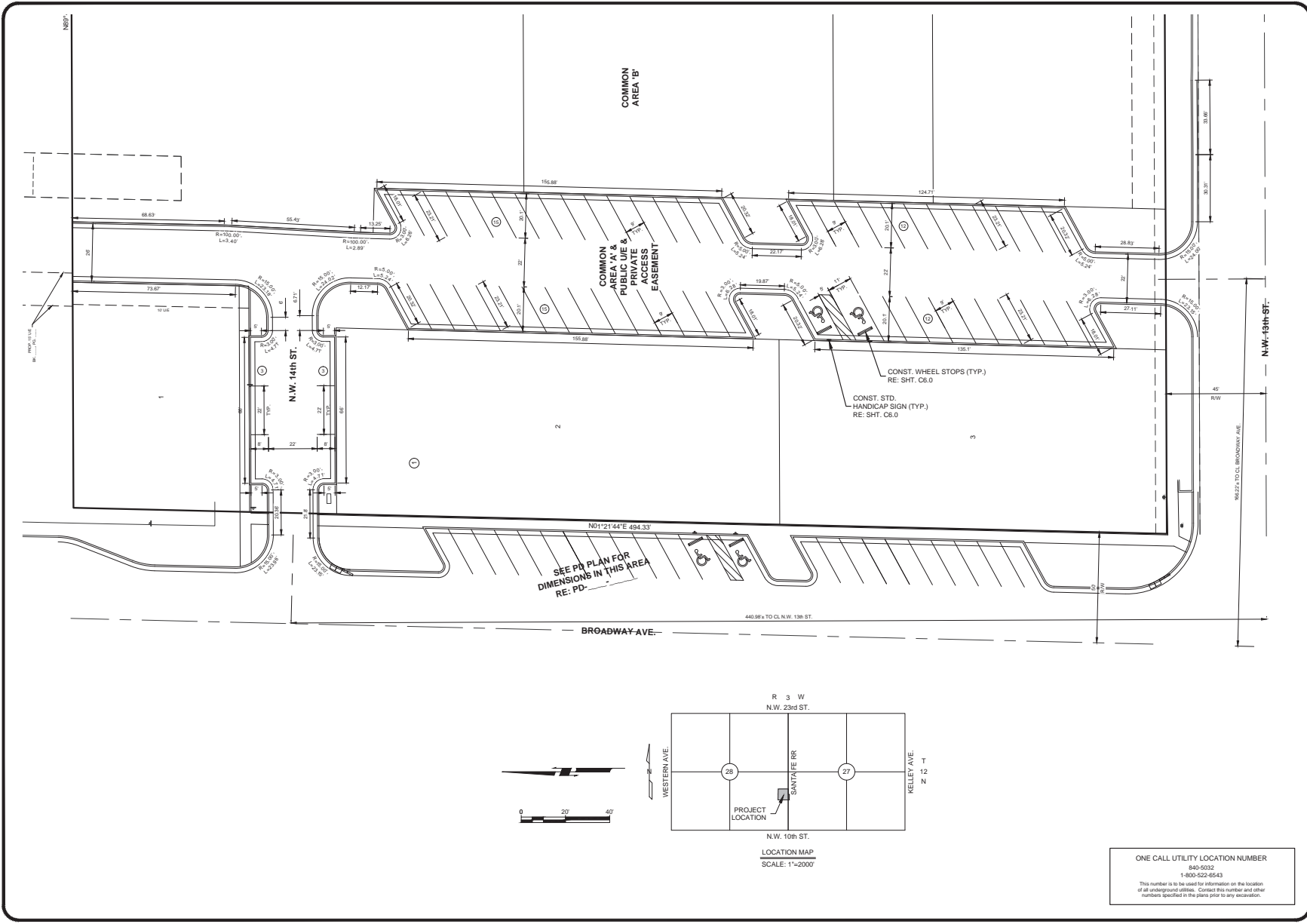
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 1 E Oklahoma Ave
 Oklahoma City, OK 73104
 (405) 241-1111
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ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
DEMOLITION PLAN

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 Date: CIVIL DATE
 Scale: 1"=20'

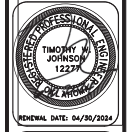
Checked By:
 Approved By:

SHEET NUMBER
C2.0



ONE CALL UTILITY LOCATION NUMBER
 840-5032
 1-800-522-8543
 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

NO.	REVISIONS DESCRIPTION	DATE

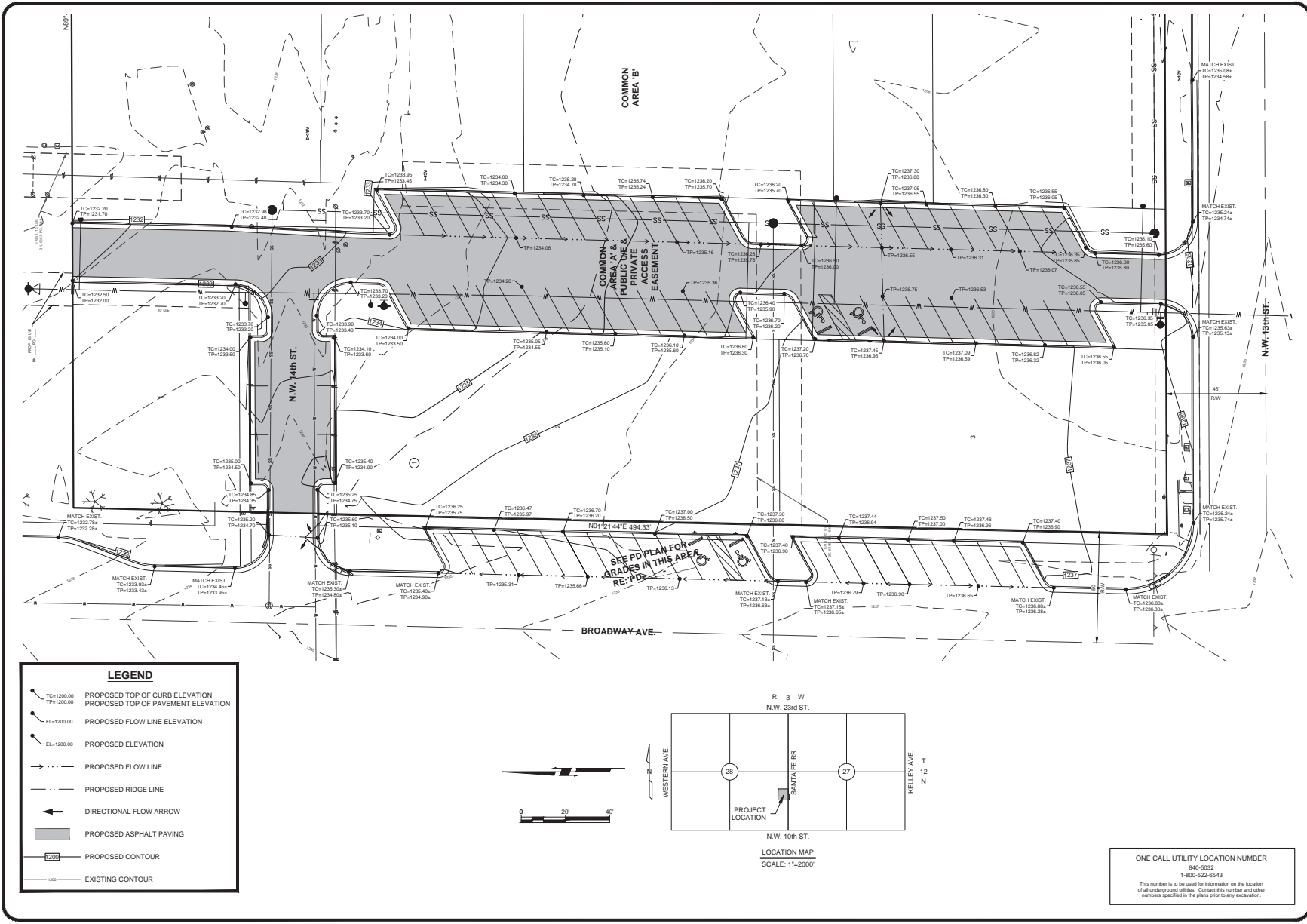


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 1 E Oklahoma City, OK 73104
 (405) 241-1111
 * ENGINEER * SUPERVISOR * PLANNER *

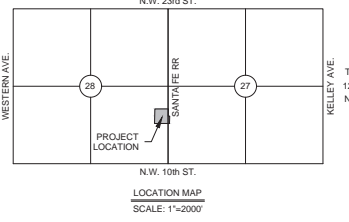
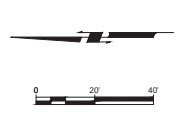
ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
SITE DIMENSIONAL PLAN

Proj. No.:
 Date: CIVIL DATE
 Scale: 1"=200'
 Checked By:
 Approved By:

SHEET NUMBER
C3.0

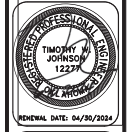


LEGEND	
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED TOP OF PAVEMENT ELEVATION
	PROPOSED FLOW LINE ELEVATION
	PROPOSED ELEVATION
	PROPOSED FLOW LINE
	PROPOSED RIDGE LINE
	DIRECTIONAL FLOW ARROW
	PROPOSED ASPHALT PAVING
	PROPOSED CONTOUR
	EXISTING CONTOUR



ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-8543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plan prior to any excavation.

NO.	REVISIONS DESCRIPTION	DATE



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1 E. Oklahoma City, OK 73104
Contractors of Professional Plans • Engineers • Surveyors • Planners •

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
PAVING & GRADING PLAN

Proj. No.:
Date: CIVIL DATE
Scale: 1"=20'

Checked By:
Approved By:

SHEET NUMBER
C4.0

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ALLEY NORTH PHASE 1

GRADING NOTES

1. ALL FILL AREAS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY (OR AS DIRECTED IN THE GEOTECHNICAL REPORT).
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. DAMAGE TO ANY UTILITIES OR STRUCTURES DURING EXCAVATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONE CALL UTILITY LOCATION NUMBER IS 840-5032 OR 1-800-522-6543.
3. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL MEASUREMENTS PRIOR TO CONSTRUCTION OF ANY PERMANENT STRUCTURE.
4. ALL SITE GRADING SHALL INCLUDE THE FOLLOWING:
 - A) TOP SOIL REMOVAL, STOCKPILE AND RE-SPREADING IN LANDSCAPE AREAS.
 - B) EXCAVATION AND COMPACTED EMBANKMENT SHALL BE DONE WITH +/- 0.1' WITH SUBGRADE TAKE OFFS IN ACCORDANCE WITH TYPICAL PAVING SECTIONS.
5. CONTRACTOR IS TO INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO CONSTRUCTION. (COST TO BE INCLUDED IN BID ITEM FOR EROSION CONTROL.)
6. CONTRACTOR TO INSTALL GRAVEL WASH BED TO RUN EQUIPMENT THROUGH AND SHALL REMOVE ALL EXCESS DEBRIS FROM TRUCKS BEFORE LEAVING SITE. CLEAN ALL DEBRIS FROM PUBLIC RIGHT-OF-WAY IMMEDIATELY.
7. ANY REMOVAL OF TREES (AS APPROVED BY OWNER), FENCING OR DEBRIS WITHIN THE LIMITS OF SITE GRADING SHALL BE DISPOSED OF BY GRADING CONTRACTOR. (COST TO BE INCLUDED IN BID ITEM FOR TREE REMOVAL.)
8. CONTRACTOR IS RESPONSIBLE FOR SOIL PREPARATION UNDER PROPOSED BUILDING FOUNDATION PER GEOTECHNICAL REPORT.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL EXISTING AND PROPOSED MANHOLES, PULL BOXES AND UTILITY APPURTENANCES TO THE PROPOSED GRADES SHOWN ON THE GRADING PLAN.

Benchmark

Original Benchmark:
 Source: City of Oklahoma City GPS Datum
 Horizontal Datum: NAD83/CORS 96; NSRS 2007
 Vertical Datum: NAVD88; GEOD 03

Benchmark # 234
 Northing: 175173.689
 Easting: 2122347.116
 Elevation: 1243.059
 Description: Approximately 25' East of the CL of Jordan Ave. and 15' North of the CL of NE 11th St.
 Object: OKC 2" Diameter Aluminum Cap

**Benchmarks by Johnson & Associates
 Set On/Around Site:**

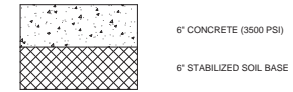
Benchmark # 450
 Northing: 176420.36
 Easting: 2113334.48
 Elevation: 1233.86
 Description: Located on the North side of NW 14th Street approx. 115' East of the centerline of Broadway, 10' NE of no parking sign and 5' South of sidewalk
 Object: #4 bar with J&A Control Cap

Benchmark # 451
 Northing: 176000.21
 Easting: 2113419.13
 Elevation: 1235.49
 Description: Located on the North side of NW 13th Street approx. 205' East of the centerline of Broadway, 10' North of traffic signal box in the grass North of sidewalk and South of parking lot
 Object: #4 bar with J&A Control Cap

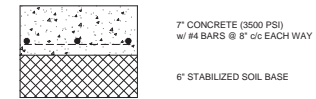
Benchmark # 452
 Northing: 177233.23
 Easting: 2113302.43
 Elevation: 1211.89
 Description: Located on the South side of NW 16th Street approx. 55' East of the centerline of Broadway, on the corner of a 90 degree in sidewalk
 Object: Mag Nail with J&A control cap



ASPH. CONCRETE PAVING SECTION
 SCALE: N.T.S.



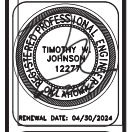
P.C. CONCRETE PAVING SECTION
 SCALE: N.T.S.



REINFORCED P.C. CONCRETE PAVING SECTION
 SCALE: N.T.S.

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NO.	REVISIONS DESCRIPTION	DATE



Johnson & Associates
 1 E Oklahoma City, OK 73104
 (405) 241-1111
 Contract & Professional Seal Exp. Date 08-30-2025

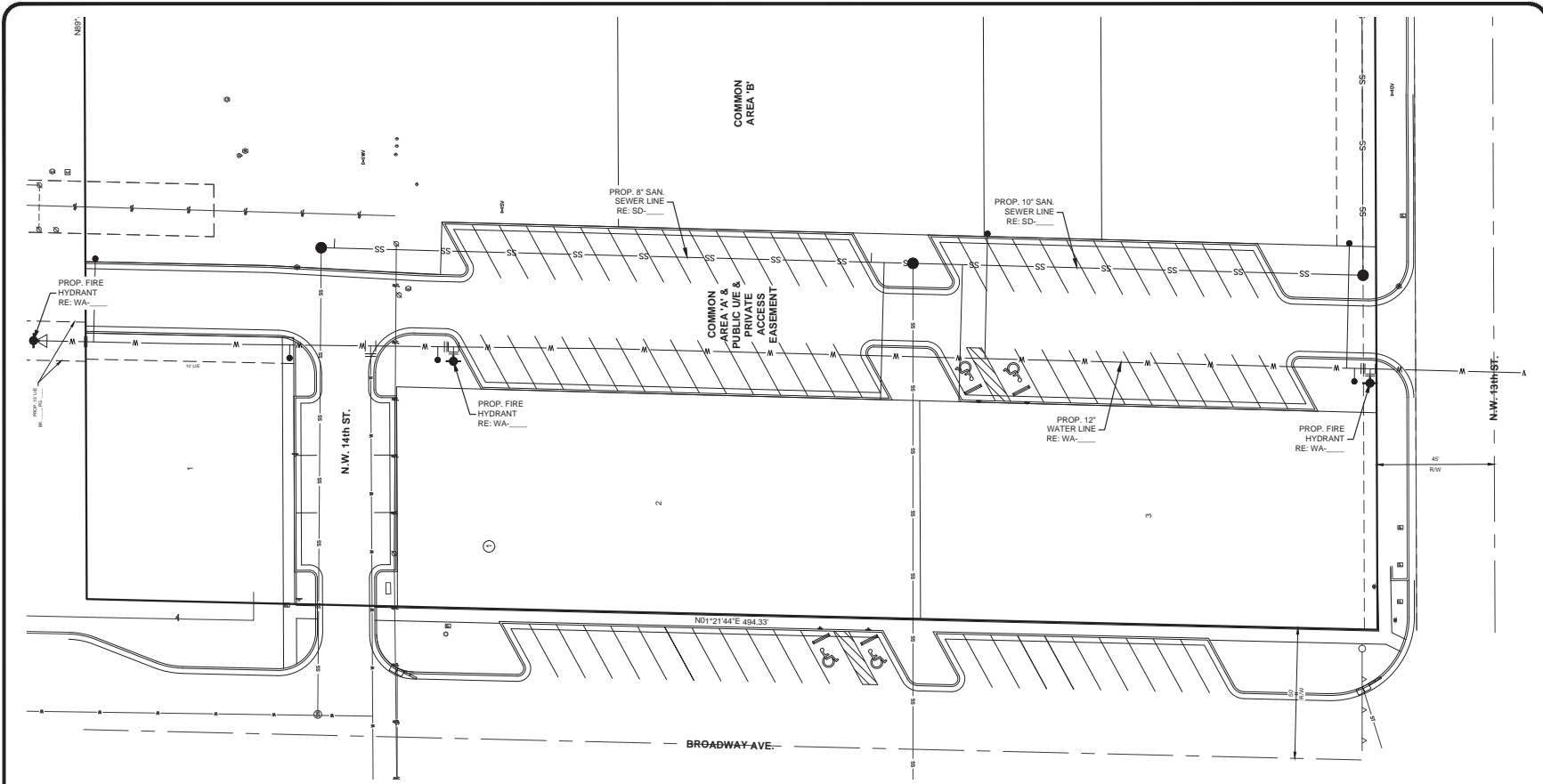
• ENGINEER • SURVEYOR • PLANNER •

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

NOTES & DETAILS

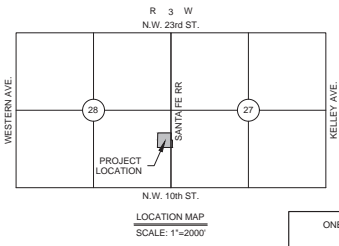
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 Approved By:

SHEET NUMBER
C4.1



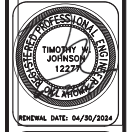
- GENERAL NOTES - UTILITIES**
- ALL UTILITY WORK SHALL COMPLY WITH CITY OF OKLAHOMA CITY STANDARD SPECIFICATIONS AND BUILDING INSPECTIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. DAMAGE TO ANY UTILITIES OR STRUCTURAL DURING EXCAVATION AND CONSTRUCTION OF NEW UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONE CALL UTILITY LOCATE IS 840-5032 OR 1-800-522-6543.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING UTILITY COMPANIES FOR NEW SERVICE CONNECTION.
 - TRENCHING SHALL BE BACKFILLED WITH SAND UNDER ALL PAVED AREAS AND COMPACTED BY WATER-JETTING.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY WORK FOR THIS SITE.
 - CONTRACTOR SHALL COORDINATE SIZE AND EXACT ENTRANCE LOCATION OF ALL UTILITY SERVICE WITH ELECTRICAL AND MECHANICAL PLANS.

LEGEND	
—s—	EXISTING SAN SEWER LINE
—st—	EXISTING STORM SEWER LINE
—gs—	EXISTING GAS LINE
—w—	EXISTING WATER LINE
—SS—	PROPOSED SAN SEWER LINE
—W—	PROPOSED PUBLIC WATER LINE
—ST—	PROPOSED STORM SEWER LINE
—SSW—	PROPOSED SAN SEWER SERVICE LINE
—CW—	PROPOSED DOMESTIC WATER SERVICE LINE
—F—	PROPOSED PRIVATE FIRE LINE
—FDC—	PROPOSED PRIVATE FIRE LINE FOR REMOTE FDC
—G—	PROPOSED GAS SERVICE LINE
—TUG—	PROPOSED UNDERGROUND TELEPHONE SERVICE LINE
—E—	PROPOSED ELECTRIC SERVICE LINE



ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-6543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

NO.	REVISIONS DESCRIPTION	DATE

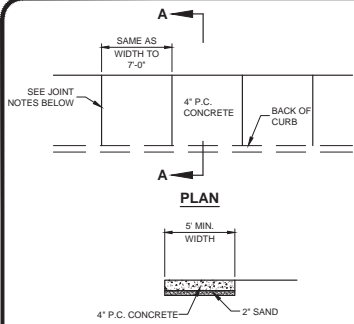


Johnson & Associates
1 E Oklahoma City, OK 73104
Contractors of Professional Seal Exp. Date 08/30/25
• ENGINEER • SUPERVISOR • PLANNER •

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
UTILITY PLAN

Proj. No.:
Date: CIVIL DATE
Scale: 1"=20'
Checked By:
Approved By:

SHEET NUMBER
C5.0



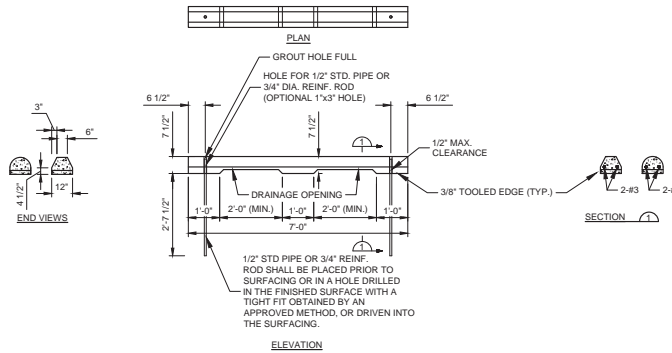
SECTION A-A

NOTES:

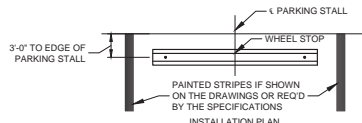
- 1/2"x4" PREMOLDED EXPANSION MATERIAL AROUND POWER POLES OR OTHER STRUCTURES IN WALK WITH AT LEAST 36" OF CLEAR TRAVEL SPACE.
- EXPANSION JOINTS MAXIMUM DISTANCE = 100'. USE 1/2"x4" PREMOLDED EXPANSION MATERIAL.
- CONTRACTION JOINTS MAXIMUM DISTANCE = 7'. SAW CUT 1 1/2" DEEP & FILL WITH SEALANT.
- SAW CUT JOINTS WITHIN 24 HOURS.
- USE 1/2"x4" PREMOLDED EXPANSION JOINT AT CURB AND AT BUILDINGS.
- ALL JOINTS TO BE SEALED. PREMOLDED EXPANSION MATERIAL TO BE REMOVED TO A DEPTH OF 1/2" PRIOR TO APPLYING SEALANT.

DETAIL FOR SIDEWALK

SCALE: N.T.S.

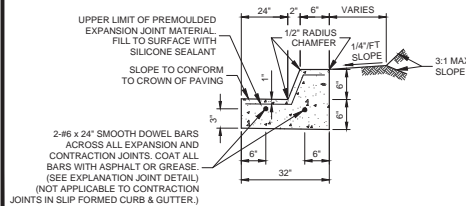


ELEVATION



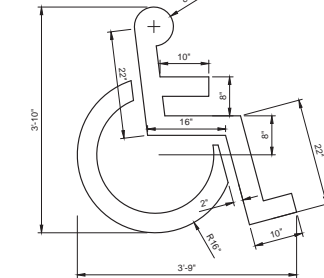
PRECAST CONCRETE WHEEL STOP DETAILS

SCALE: N.T.S.



6" BARRIER CURB & GUTTER DETAIL

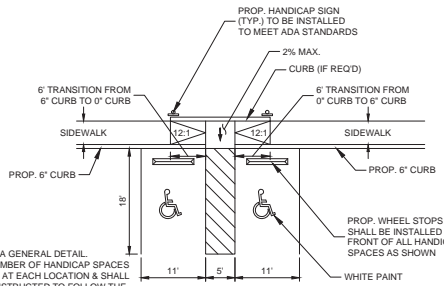
SCALE: N.T.S.



HANDICAP PAVEMENT MARKING DETAIL

SCALE: N.T.S.

NOTE: THIS IS A GENERAL DETAIL. THE NUMBER OF HANDICAP SPACES VARIES AT EACH LOCATION & SHALL BE CONSTRUCTED TO FOLLOW THE ABOVE DETAIL.



H.C. PARKING w/ SIDEWALK RAMP DETAILS

SCALE: 1/4"=1'

Sidewalk Notes:

- All work must meet current Americans with Disabilities Act (ADA) requirements.
- Minimum sidewalk width shall be as follows: residential, 5'-0" at curb, 4'-0" at property line; commercial, 6'-0" at curb, 5'-0" at property line.
- Sidewalk cross slope shall be a maximum of 2% and a minimum of 1/2% cross slope.
- Whenever the width of the sidewalk is less than 5'-0", a 5' x 5' passing area with maximum 2% slope and minimum 1/2% slope in any direction at intervals of 200' shall be installed.
- Whenever changing direction in a sidewalk, install a 5' x 5' passing area with maximum 2% slope and minimum 1/2% slope in any direction.
- Objects such as tree branches, signs, water fountains, etc. shall not protrude into the sidewalk more than 4" at the heights between 27" and 80".
- Sidewalk shall be constructed of 4" thick concrete on top of 2" of 1 1/2" crusher run, 3/8" rock screenings, 1 1/2" clean recycled concrete or approved equal.
- All obstructions into the walk, such as power poles, hydrants, sign posts, etc. must have at least 48" of clear travel space around the obstruction.
- Sidewalk running grade shall not exceed 5% unless the sidewalk is contained in the R-C-W and then cannot exceed the general grade established for the adjacent street.

General Notes:

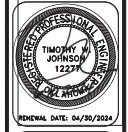
- The non-alternate curb-ramp layout shall be used whenever possible. Any deviation from the standard curb-ramp plans shall be approved by the City Engineer or his designee on a case by case basis.
- The standard curb-ramp drawings supersede all previous drawings and shall be a part of the new curb ramp standard drawings.
- All alternate ramps shall be approved by the City Engineer or his designee prior to construction.
- Seal all joints on sidewalks, landings and ramps. Width of expansion joint shall be 1/2".

Curb Ramp Notes:

- A curb ramp is defined as the entire concrete surface which includes the ramp and flared sides. The minimum 4' wide center portion including the Detectable Warning Surface, shall have a sloped plane of 8.33% (1:12) maximum, and cross slope, not to exceed 2%. The "flared side" of the ramp shall lie on a slope of 10% (1:10) maximum measured along the curb. The curb ramp shall have a surface tolerance of 1/4" per 10 foot straight edge maximum.
- The ramp center line and path of travel should be parallel to the sidewalk whenever possible. The full width of the ramp shall lie within the crosswalk area. It is desirable that the location of the ramp be as close as possible to the center of the crosswalk.
- Curb Ramps shall not exceed 15' in length.
- Existing utility boxes and covers shall be adjusted flush with the curb ramp surface and shall not straddle any change in plane or material. Existing utility box frames and covers shall have matching surface finish on the entire frame and cover. New utility boxes shall not be placed within the accessible pathway.
- The surface of the curb ramp and Detectable Warning Surface material shall be stable, firm and slip resistant. The concrete curb ramp surface shall be broom finished transverse to the axis of the ramp and shall be slightly rougher than the finish of the adjacent sidewalk surface.
- A level landing 5'-0" deep, with a 2% maximum slope in each direction shall be provided at the upper end of each curb ramp to allow safe egress from the ramp surfaces. The width of the level landing shall be at least as wide as the width of the ramp. A level landing of a minimum of 30" wide x48" deep shall be provided at pedestrian push buttons at signalized crossings.
- Existing vertical utility poles or street light poles may be incorporated into the flared sides, if necessary. The vertical obstruction shall be a minimum of 6" away from edge of the ramp. Pedestrian crosswalks push button poles, fire department call boxes and other poles with activated devices, may not be placed in the curb-ramp at any time. No new vertical obstructions may be located in the curb ramp or the accessible pathway.
- Ramp opening shall be the same width as the sidewalk up to 6'-0" wide.
- Curb Ramp shall be constructed with 8" thick concrete at collector and arterial streets; and with 6" thick concrete at residential streets. All on top of 2" of 1 1/2" crusher run, 3/8" rock screenings, 1 1/2" recycled concrete or approved equal. The 6" or 8" thick concrete will extend a maximum of 8'-8" (maximum) behind the face of curb. The remainder of the ramp will be constructed of 4" thick concrete and pad as sidewalk. All landings and incidental connections will be pad as sidewalk and will be constructed of 4" thick concrete.
- For new construction all Detectable Warning Surfaces are to be set in concrete. Surface applied domes require special written approval by the City Engineer or his designee.

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NO.	REVISIONS	DESCRIPTION	DATE



Johnson & Associates
 1100 North Lincoln
 Oklahoma City, OK 73104
 (405) 241-1200
 Civil & Professional Survey
 • REGISTERED • SURVEYORS • PLANNERS •



ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

DETAILS

Proj. No.	CIVIL DATE
Date	N.T.S.
Scale	
Checked By	
Approved By	
SHEET NUMBER	C6.0

FINAL PLAT
of
ALLEY NORTH PHASE 1

BEING A REPLAT OF ALL OF BLOCK 3, ALL OF LOT 26 BLOCK 2, AND A PORTION OF
LOTS 25, 27-38 BLOCK 2 OF ANTON H. CLASSEN'S NORTH BROADWAY ADDITION
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, IM
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That OPERATIONREADYMIX, LLC, an Oklahoma Limited Liability Company, hereby certifies that they are the owner of, and the only persons, firms or companies having title or interest in and to the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma. They have caused the same to be surveyed and platted into lots, as shown on said Final Plat, which said Final Plat represents a correct survey of all property included therein under the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, being a part of the Southeast Quarter (SE/4) of Section Twenty-Eight (28) and of the Southwest Quarter of (SW/4) of Section Twenty-Seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma County, Oklahoma.

They further certify that they are the owners of and the only persons, firms or companies who has any right, title or interest to the land included in the above mentioned Final Plat, and they do hereby dedicate all street rights-of-way and utility easements as shown on said Final Plat to the public, for public streets, public drainage and public utilities for their heirs, executors, administrators, successors and assigns forever and have caused the same to be released from all encumbrances to be executed on this ____ day of _____, 2024.

Signed by the Manager this ____ day of _____, 2024.

OPERATIONREADYMIX, LLC

By: _____
William T. Strange, Manager

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS
Before me, the undersigned, a notary public in and for said county and state on this ____ day of _____, 2024, personally appeared William T. Strange, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its Manager, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such company for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

CERTIFICATE OF PLANNING COMMISSION

I, _____, Planning Director for the City of Oklahoma City, hereby certify that the City of Oklahoma City Planning Commission duly approved the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma at a meeting the ____ day of _____, 2024.

Planning Director

CERTIFICATE OF CITY CLERK

I, _____, City Clerk of the City of Oklahoma City, Oklahoma County, Oklahoma, hereby certify that I have examined the records of said City and find that all deferred payments on unratified installments upon special assessment have been paid in full and that there are no special assessment procedures now pending against the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma.

Signed by the City Clerk this ____ day of _____, 2024.

City Clerk

ACCEPTANCE OF DEDICATION BY CITY COUNCIL

Be It resolved by the Council of the City of Oklahoma City that the dedication shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma is hereby accepted.

Adopted by the Council of the City of Oklahoma City this ____ day of _____, 2024.

City Clerk Mayor

BONDED ABTRACTOR'S CERTIFICATE

The undersigned, a duly qualified and lawfully bonded abstractor of titles in and for Oklahoma County and the State of Oklahoma, hereby certify that the records of said county show that the Title to the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma is vested in OPERATIONREADYMIX, LLC, on the ____ day of _____, 2024, that there are no actions pending or judgements of any nature in any court or on file with the clerk thereof, that the taxes are paid for the year 2023 and prior years, that there are no outstanding tax sales certificates against said land and no tax deeds are issued to any person, that there are no liens, or other encumbrances of any kind against the land included in the Final Plat, except mortgages, rights-of-way, easements, and mineral conveyances of record.

In witness thereof, said Bonded Abstractor has caused this instrument to be executed this ____ day of _____, 2024.

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS
Before me, the undersigned, a notary public in and for said county and state on this ____ day of _____, 2024, personally appeared _____, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its _____, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such corporation for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

COUNTY TREASURER'S CERTIFICATE

I, _____, do hereby certify that I am the duly qualified and acting County Treasurer of Oklahoma County and that the tax records of said county show that all taxes for the year 2023 and prior years are paid on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, and that the required statutory security has been deposited in the offices of the County Treasurer guaranteeing the current year's taxes.

In witness thereof said County Treasurer has caused this instrument to be executed this ____ day of _____, 2024.

County Treasurer

REGISTERED PROFESSIONAL LAND SURVEYOR'S CERTIFICATE

I, Matthew Johnson, a Professional Land Surveyor in the State of Oklahoma, do hereby certify that the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, consisting of 2 sheets, represents a careful survey made under my supervision on the ____ day of _____, 2024, and that the plat of survey is an accurate representation of said survey and that all monuments shown hereon actually exist.

I further certify that this plat of survey meets the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted by the Oklahoma State Board of Registration for Professional Engineers and Land Surveyors.

Witness my hand and seal this ____ day of _____, 2024.

Matthew Johnson, P.L.S. No. 1807

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS
Before me, the undersigned, a notary public within and for said county and state, personally appeared Matthew Johnson, to me known to be the identical person who executed the within and foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

PROPERTY DESCRIPTION

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-eight (28) and the Southwest Quarter (SW/4) of Section Twenty-seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, and being all of Block Three (3), all of Lot Twenty-six (26) in Block Two (2) together with portions of Lot Twenty-five (25), Lots Twenty-seven (27) through Thirty-eight (38) and a portion of the vacated Alley adjacent thereto, all in Block Two (2) and all of vacated N.W. 14th Street of ANTON H. CLASSEN'S NORTH BROADWAY ADDITION according to the Plat recorded in Book PL3, Page 3, being more particularly described as follows:

BEGINNING at the Southwest (SW) Corner of Lot 21 in said Block 3;

THENCE North 01°21'44" East, along and with the West lines of said Blocks 3 and 2, a distance of 494.33 feet to a point 49.29 feet North of the Southwest (SW) Corner of Lot 26 of said Block 2;

THENCE North 89°46'35" East, departing the West line of said Block 2, a distance of 459.98 feet to a point on the East line of said Block 2, said point being 49.29 feet North of the Southeast (SE) Corner of Lot 38 of said Block 2;

THENCE along and with the East lines of said Blocks 2 and 3, the following 3 calls:

1. South 01°21'44" West, a distance of 246.83 feet;
2. North 89°46'35" East, a distance of 50.02 feet;
3. South 01°21'44" West, a distance of 247.50 feet to the Southeast (SE) Corner of said Block 3;

THENCE South 89°46'35" West, along and with the South line of said Block 3, a distance of 510.00 feet to the POINT OF BEGINNING.

Containing 239,669 square feet or 5,5020 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). All Distances are grid distances in U.S. Survey Feet.

This property description was prepared on the ____ day of _____, 2024, by Matthew Johnson, Licensed Professional Surveyor, No. 1807.

FINAL PLAT
of

ALLEY NORTH PHASE 1



Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 233-8979 FAX: (405) 234-1079 www.ja-plc.com
Certificate of Authorization #1484 Exp. Date: 08-30-2025

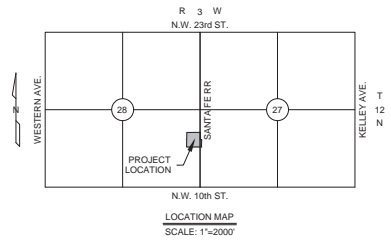
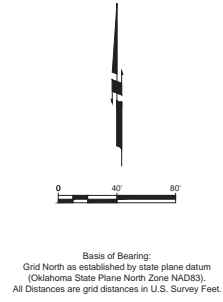
ENGINEERS • SURVEYORS • PLANNERS •

OWNER'S NOTARY	CITY CLERK	ABSTRACTOR	ABSTRACTOR'S NOTARY	COUNTY TREASURER	SURVEYOR	SURVEYOR'S NOTARY

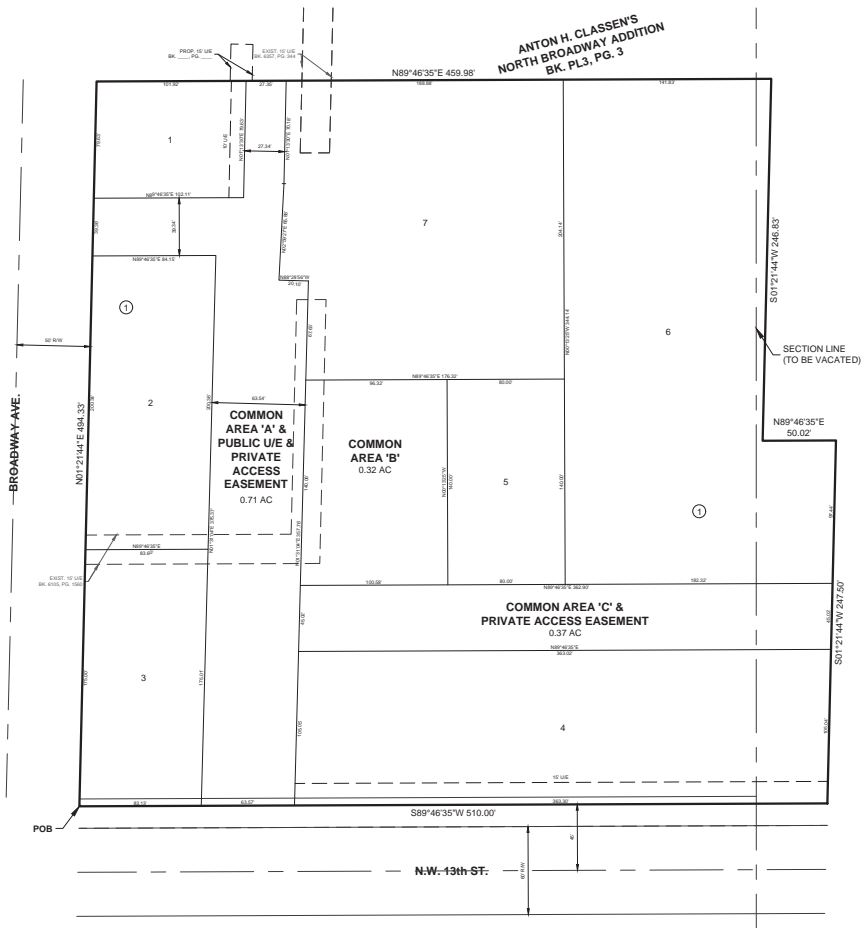
FINAL PLAT of ALLEY NORTH PHASE 1

BEING A REPLAT OF ALL OF BLOCK 3, ALL OF LOT 26 BLOCK 2, AND A PORTION OF
LOTS 25, 27-38 BLOCK 2 OF ANTON H. CLASSEN'S NORTH BROADWAY ADDITION
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, 1M
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

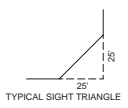
ANTON H. CLASSEN'S
NORTH BROADWAY ADDITION
BK. PL.3, PG. 3



***** NOTE *****
THIS SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYORS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS; AND THAT SAID FINAL PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 11 SECTION 41-108 OF THE OKLAHOMA STATE STATUTES.



- NOTES:**
- All islands/medians within street rights-of-way, and arterial landscaping with its irrigation system, shall be maintained by the Property Owners Association within ALLEY NORTH PHASE 1.
 - Maintenance of all common areas and private drainage easements within ALLEY NORTH PHASE 1 shall be the responsibility of the Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that may cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.



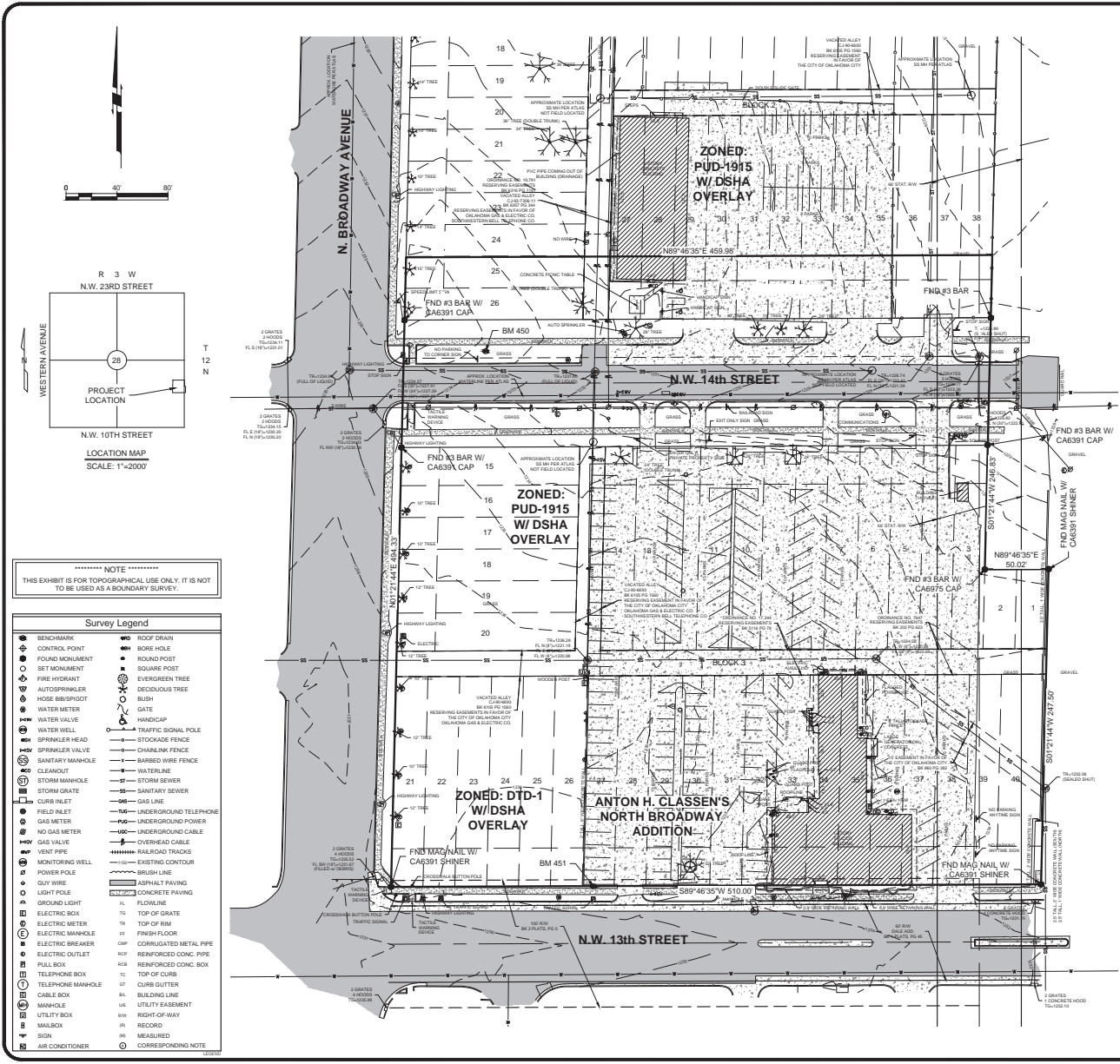
- LEGEND:**
- POB = POINT OF BEGINNING
 - R/W = RIGHT OF WAY
 - U/E = PUBLIC UTILITY EASEMENT
 - D/E = PUBLIC DRAINAGE EASEMENT
 - D & U/E = DRAINAGE & UTILITY EASEMENT

- DENOTES FND. #3 BAR w/CAP STAMPED "J&A 1484" UNLESS OTHERWISE NOTED
- DENOTES SET #3 BAR w/CAP STAMPED "J&A 1484" UNLESS OTHERWISE NOTED
- △ DENOTES SET NAIL "1484 J&A SHINER" UNLESS OTHERWISE NOTED

TOTAL NUMBER OF LOTS = 7
TOTAL COMMON AREA ACRES = 1.40 AC

FINAL PLAT
of
ALLEY NORTH PHASE 1

Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 233-8979 FAX: (405) 234-8779 www.ja-plc.com
Certificate of Authorization #1484 Exp. Date: 08-30-2025
ENGINEERS • SURVEYORS • PLANNERS



Certificate of Survey

I, Matthew Johnson, certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision. The field work was completed on March 19, 2024. All coordinates are based on Oklahoma State Plane North Zone NAD83 and all elevations are based on NAVD83.

Date: June 5, 2024



Matthew Johnson, P.L.S.
 Registration No. 1807
JOHNSON & ASSOCIATES
 Certificate of Authorization No. 1494

Surveyor's Note:

The utilities shown herein have been located in the field by above ground inspection only. The underground utilities shown herein have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown herein comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown herein are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities. A Call OKEE request was made on March 13, 2024 with a ticket numbers of 24031916003712, 24031916123747, 24031916383909, 24031916423840, 24031916453964, 24031916473965. All utilities that were marked at the time the field work was performed have been located and are shown on the survey.

No portion of the property shown on the survey lies within a Special Hazard Area, as described on the Flood Insurance Rate map for the community in which the subject property is located. The entire parcel lies within Zone "X" of the Federal Emergency Management Agency Community Panel Number 40109C0285H Map with an effective date of December 18, 2009.

The subject tract is currently zoned PUD-1915 AND DTD-1 with DSHA overlay.
 Source: the City of Oklahoma City, Oklahoma Planning Department website at www.okc.gov. Phone: 405-297-2923 for more information about Building Height, setback and parking restrictions for this zoning.

All Horizontal coordinate values shown are U.S. Survey feet and all vertical elevation values are shown in feet. The Basis of Bearing is Oklahoma State Plane North Zone NAD83. All distances are Grid distances. Vertical datum is NAVD83. The original Benchmark is Oklahoma City Monument 234.

Original Benchmark:
 Source: City of Oklahoma City GPS Datum
 Horizontal Datum: NAD83/CORS 96, NRS 2007
 Vertical Datum: NAVD83, GEOID 03

Benchmark # 234
 Northing: 17573.689
 Easting: 212247.116
 Elevation: 1243.059
 Description: Approximately 25' East of the CL of Jordan Ave. and 18' North of the CL of NE 11th St.
 Object: OKC 2' Diameter Aluminum Cap

Benchmarks by Johnson & Associates

Set On/Down Stake:
 Benchmark # 450
 Northing: 17840.36
 Easting: 211334.48
 Elevation: 1233.84
 Description: Located on the North side of NW 14th Street approx. 115' East of the corner of Broadway, 10' NE of on-parking sign and 5' South of sidewalk
 Object: #4 bar with J&A Control Cap

Benchmark # 451
 Northing: 17800.21
 Easting: 211949.13
 Elevation: 1256.41
 Description: Located on the North side of NW 13th Street approx. 202' East of the corner of Broadway, 10' North of traffic signal box in the grass North of sidewalk and South of parking lot
 Object: #4 bar with J&A Control Cap

Benchmark # 452
 Northing: 17723.23
 Easting: 211332.43
 Elevation: 1211.89
 Description: Located on the South side of NW 14th Street approx. 55' East of the corner of Broadway, on the corner of a 90 degree in sidewalk
 Object: Mag Nail with J&A control cap

***** NOTE *****
 THIS EXHIBIT IS FOR TOPOGRAPHICAL USE ONLY. IT IS NOT TO BE USED AS A BOUNDARY SURVEY.

Survey Legend	
⊕	BENCHMARK
⊙	CONTROL POINT
⊚	FOUND MONUMENT
⊛	SET MONUMENT
⊔	FIRE HYDRANT
⊕	AUTO SPRINKLER
⊖	HOSE DISBURSPT
⊗	WATER METER
⊘	WATER VALVE
⊙	WATER WELL
⊚	SPRINKLER HEAD
⊛	SPRINKLER VALVE
⊔	SANITARY MANHOLE
⊕	CLEANOUT
⊖	STORM MANHOLE
⊗	STORM GRATE
⊘	CURB INLET
⊙	FIELD INLET
⊚	GAS METER
⊛	NO GAS METER
⊔	GAS VALVE
⊕	VENT PIPE
⊖	MONITORING WELL
⊗	POWER POLE
⊘	GUY WIRE
⊙	LIGHT POLE
⊚	GROUND LIGHT
⊛	ELECTRIC BOX
⊔	ELECTRIC METER
⊕	ELECTRIC MANHOLE
⊖	ELECTRIC BREAKER
⊗	ELECTRIC OUTLET
⊘	PULL BOX
⊙	TELEPHONE BOX
⊚	TELEPHONE MANHOLE
⊛	CABLE BOX
⊔	MANHOLE
⊕	UTILITY BOX
⊖	MAILBOX
⊗	SIGN
⊘	AIR CONDITIONER
⊙	ROOF DRAIN
⊚	BORR HOLE
⊛	ROUND POST
⊔	SQUARE POST
⊕	EVERGREEN TREE
⊖	DECIDUOUS TREE
⊗	BUSH
⊘	GATE
⊙	HANDICAP
⊚	TRAFFIC SIGNAL POLE
⊛	STOCKADE FENCE
⊔	CHARLINK FENCE
⊕	BARBED WIRE FENCE
⊖	WATERLINE
⊗	STORM SEWER
⊘	SANITARY SEWER
⊙	GAS LINE
⊚	UNDERGROUND TELEPHONE
⊛	UNDERGROUND POWER
⊔	UNDERGROUND CABLE
⊕	OVERHEAD CABLE
⊖	RAILROAD TRACKS
⊗	EXISTING CONTOUR
⊘	BRUSH LINE
⊙	ASPHALT PAVING
⊚	CONCRETE PAVING
⊛	FLOWLINE
⊔	TOP OF GRATE
⊕	TOP OF RIM
⊖	FIND FLOOR
⊗	CORRUGATED METAL PIPE
⊘	REINFORCED CONC. PIPE
⊙	REINFORCED CONC. BOX
⊚	TOP OF CURB
⊛	CURB GUTTER
⊔	BUILDING LINE
⊕	UTILITY EASEMENT
⊖	RIGHT-OF-WAY
⊗	RECORD
⊘	MEASURED
⊙	CORRESPONDING NOTE

NO.	REVISIONS DESCRIPTION	DATE

Johnson & Associates
 1 E. Sheridan Ave., Suite 200
 Oklahoma City, OK 73104
 (405) 297-2923
 www.johnsonandassociates.com

• ENGINEERS • SURVEYORS • PLANNERS •

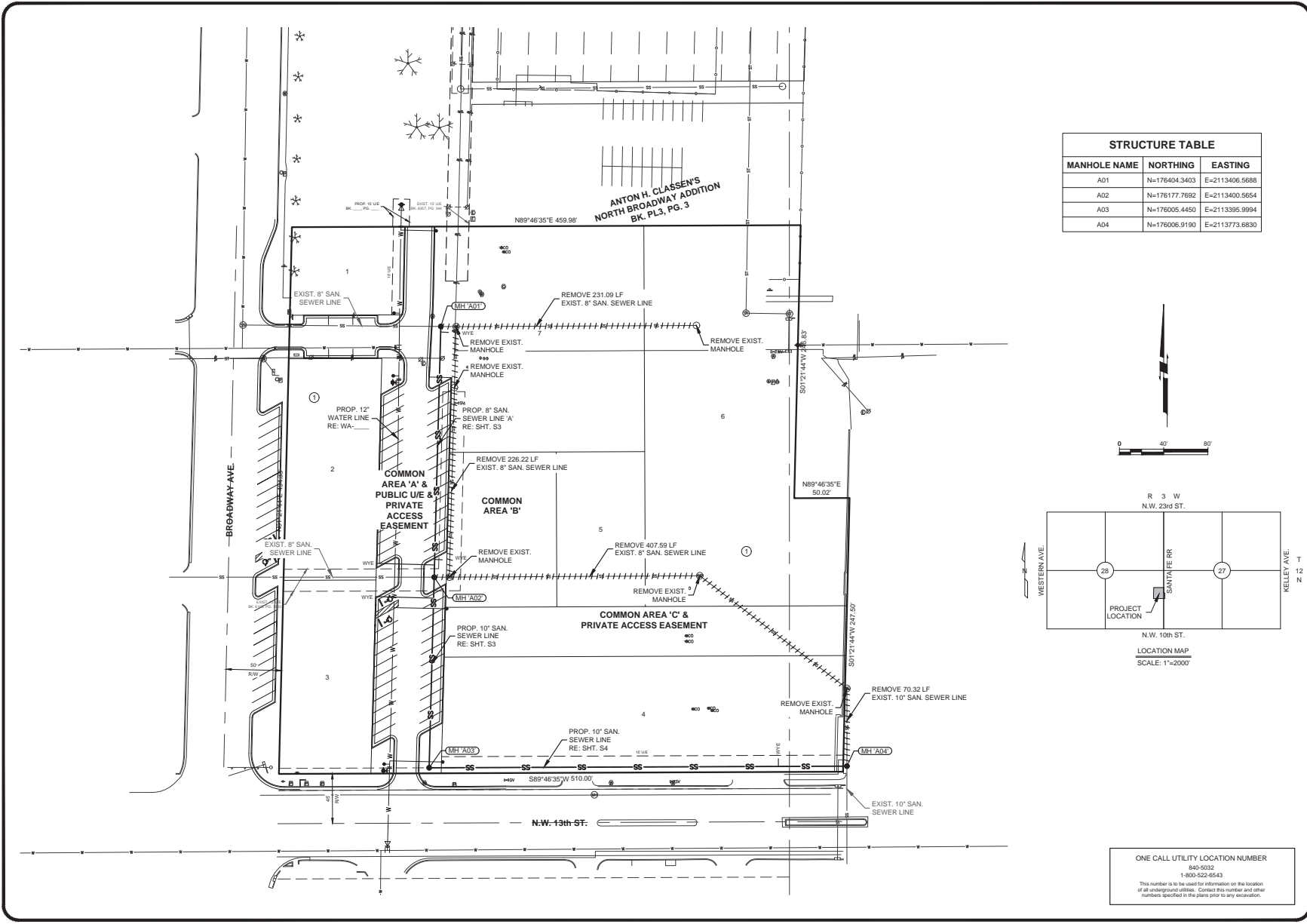
ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

TOPOGRAPHIC SURVEY

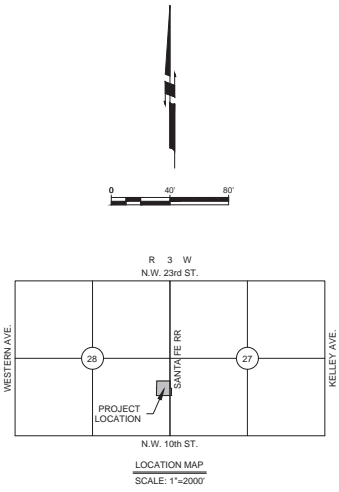
Proj. No. 532901
 Date: 6-5-24
 Scale: 1"=40'
 Surveyed By: JMM
 Drawn By: JMM
 Approved By: MJ

SHEET NUMBER
TS

Copyright © 2024 Johnson & Associates



STRUCTURE TABLE		
MANHOLE NAME	NORTHING	EASTING
A01	N=176404.3403	E=2113406.5688
A02	N=176177.7692	E=2113400.5654
A03	N=176005.4450	E=2113395.9994
A04	N=176006.9190	E=2113773.6830



ONE CALL UTILITY LOCATION NUMBER
 840-5032
 1-800-522-6543
 This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

Copyright © 2014 Johnson & Associates

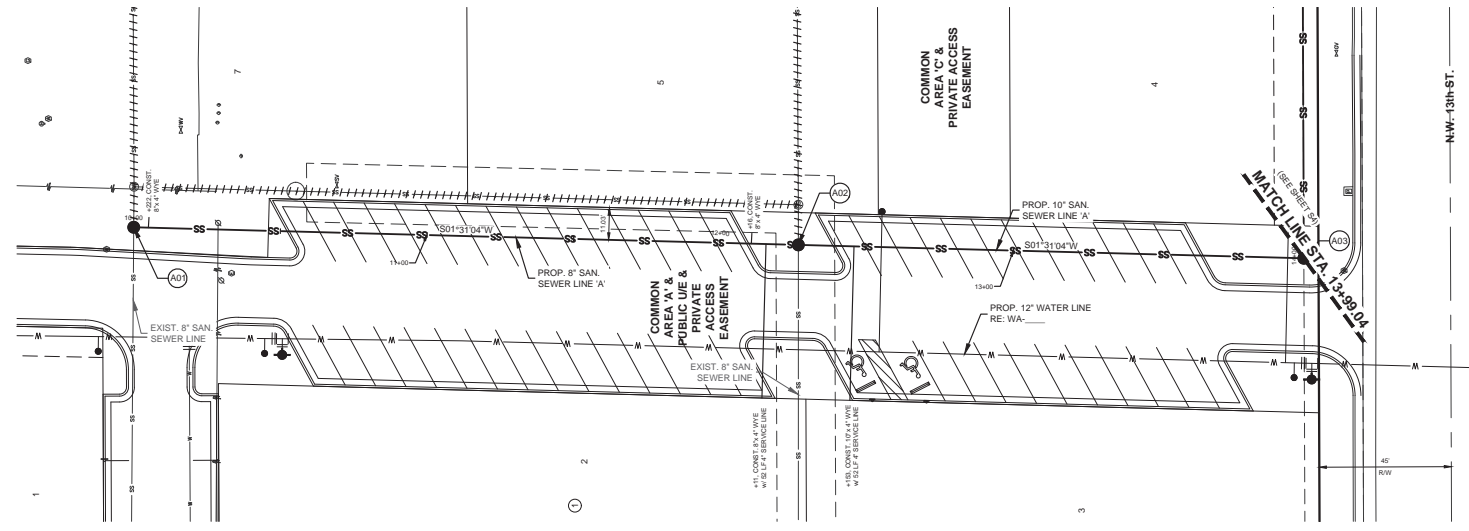
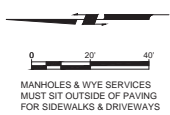
NO.	REVISIONS	DESCRIPTION	DATE

Johnson & Associates
 1 E Oklahoma City, OK 73104
 (405) 241-1111
 Contract of Professional Service Exp. Date 08-30-2015
 ENGINEER SUPERVISOR PLANNER

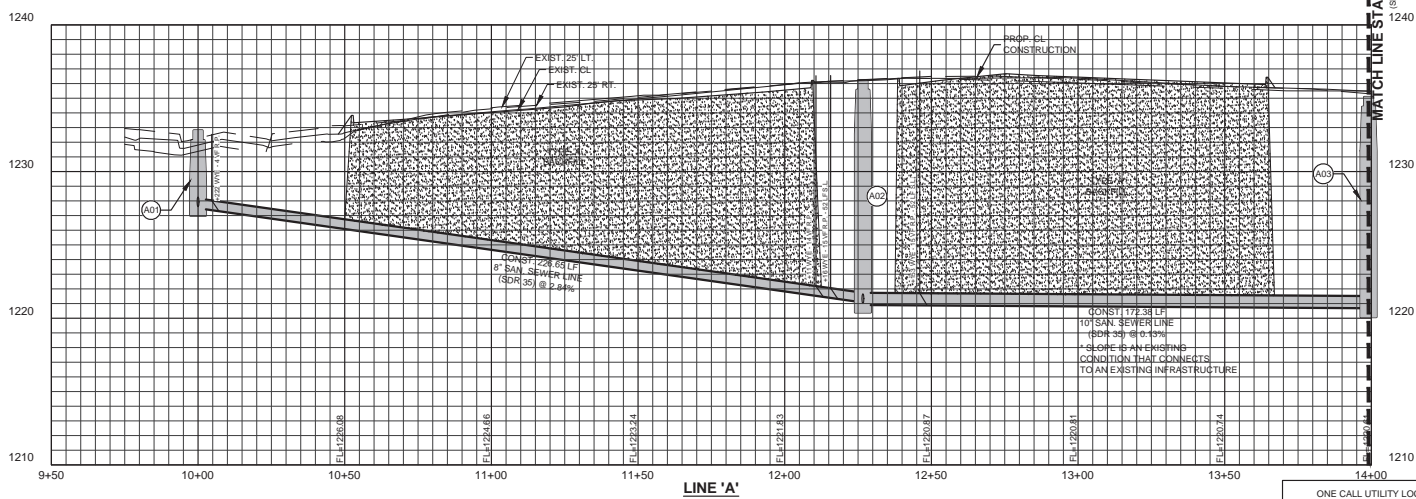
JA
 ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
 SANITARY SEWER GENERAL LAYOUT & DEMOLITION PLAN

Proj. No.: SD-
 Date: 06-10-24
 Scale: 1"=40'
 Checked By: _____
 Approved By: _____

S2
 SHEET NUMBER

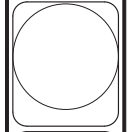


- ADD STA. 10+00-CL LINE 'A'**
 BEGIN CONSTRUCTION LINE 'A'
 CONST. 1-STD. 4 DIA. MANHOLE
 ON EXIST. SAN. SEWER LINE
 TR=1233.00
 FL W=1227.60
 FL S=1227.50
- ADD STA. 12+26.65-CL LINE 'A'**
 CONST. 1-STD. 4 DIA. MANHOLE
 ON EXIST. SAN. SEWER LINE
 TR=1236.40
 FL N=1221.07
 FL W=1221.00
 FL S=1220.90
- ADD STA. 13+99.04-CL LINE 'A'**
 CONST. 1-STD. 4 DIA. MANHOLE
 ON EXIST. SAN. SEWER LINE
 TR=1235.30
 FL N=1220.88
 FL E=1220.58



ONE CALL UTILITY LOCATION NUMBER
840-5232
1-800-522-6543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

NO.	REVISIONS DESCRIPTION	DATE

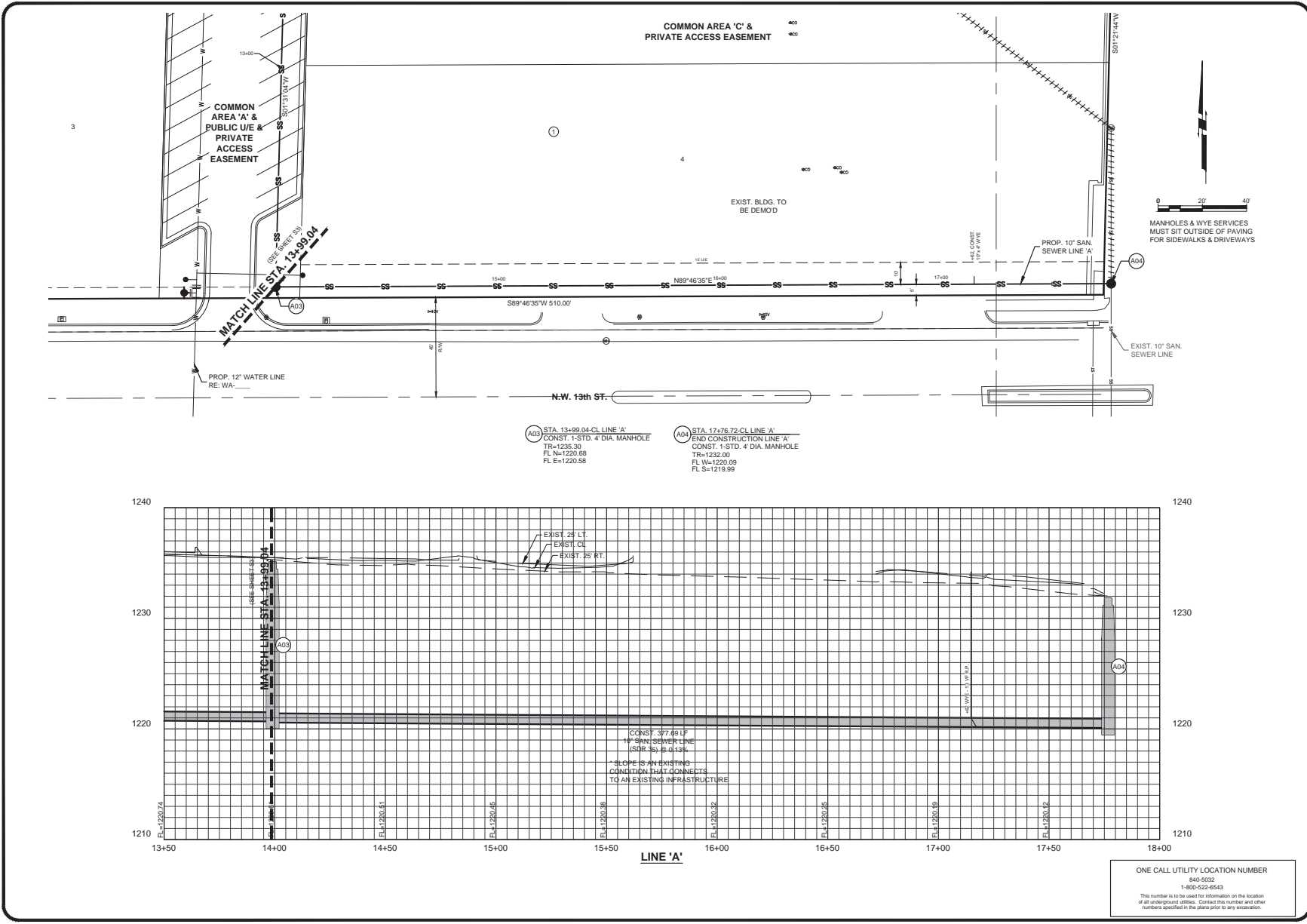


Johnson & Associates
1 E. Oklahoma City, OK 73104
Contractors & Professional Staff Est. Date 08-20-24
ENGINEERS • SURVEYORS • PLANNERS

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
SANITARY SEWER PLAN & PROFILE
LINE 'A'

Proj. No. SD
Date 08-10-24
Scale (Plan) 1"=20'
(Vert) 1"=4'
Checked By: [Signature]
Approved By: [Signature]

SHEET NUMBER
S3



Copyright © 2014 Johnson & Associates

NO.	REVISIONS DESCRIPTION	DATE

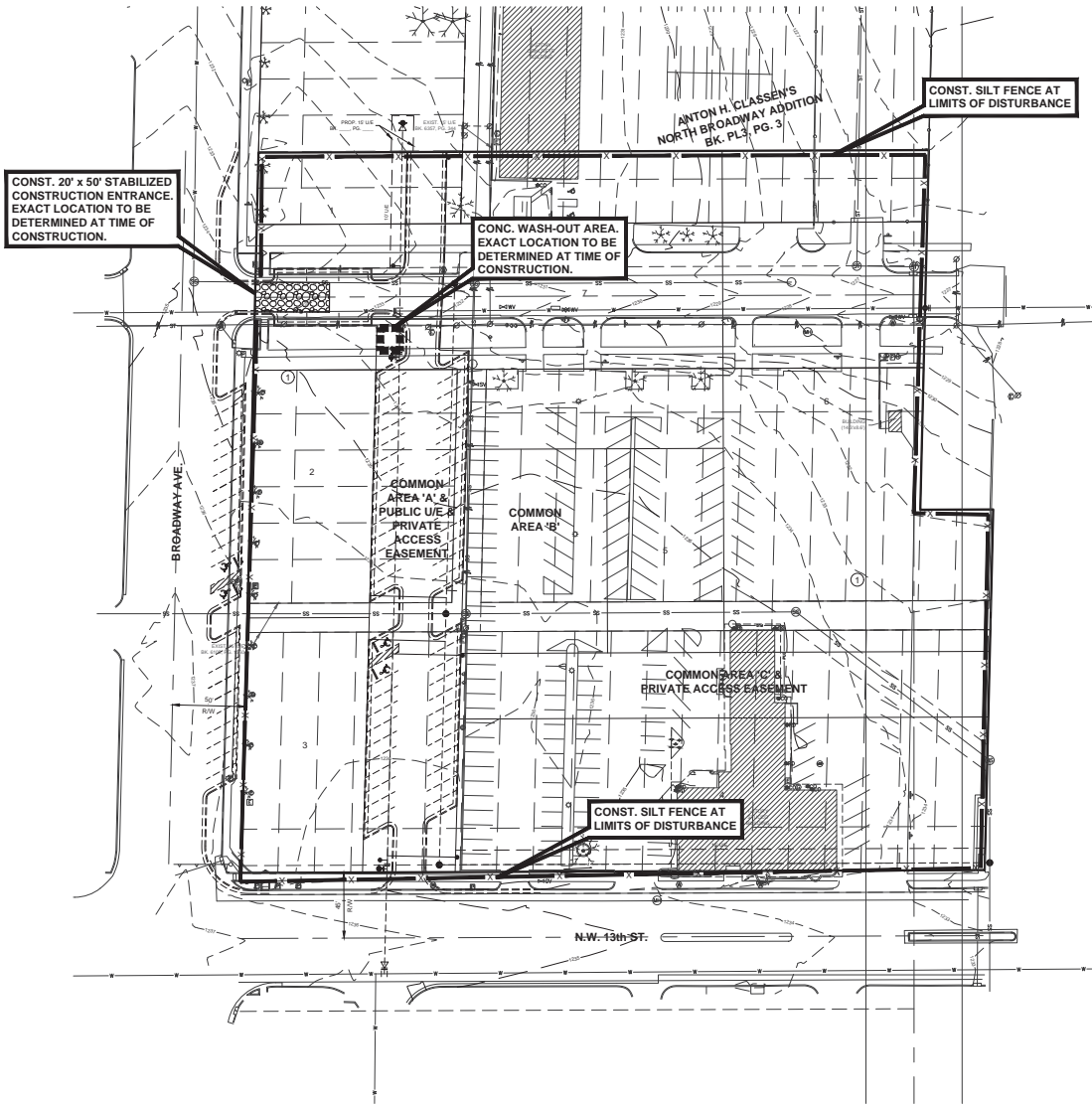
MANHOLES & WYE SERVICES MUST SIT OUTSIDE OF PAVING FOR SIDEWALKS & DRIVEWAYS

Johnson & Associates, Inc.
 1100 N. Oklahoma City, OK 73104
 (405) 241-1100
 Contract & Professional Seal: Exp. Date 08-30-2025
 • ENGINEER • SUPERVISOR • PLANNER •

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
SANITARY SEWER PLAN & PROFILE
LINE 'A'

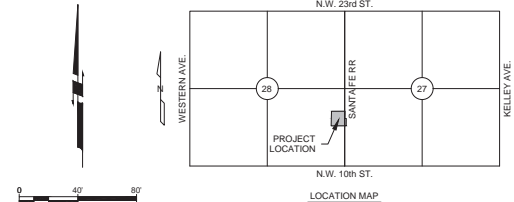
Proj. No.:	SD-
Date:	06-10-24
Scale (Plan):	1"=20'
Scale (Profile):	1"=4'
Checked By:	
Approved By:	

S4



EROSION CONTROL - GENERAL NOTES

- CONTRACTOR TO PROVIDE A TEMPORARY CULVERT UNDER ALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES AS NECESSARY.
- INSTALL PERIMETER EROSION CONTROL DEVICES PRIOR TO REMOVING TOPSOIL OR BEGINNING GRADING ACTIVITIES.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE IN AN AREA DRAINING INTO THE POLLUTION CONTROL SYSTEM.
- CONSTRUCT ROCK BAG DITCH CHECKS AS SHOWN ON THE APPROVED PLANS AND AS NECESSARY TO PREVENT EROSION DAMAGE PRIOR TO PAVING.
- AFTER ALL PRECIPITATION OF 0.5 INCHES OR GREATER, EROSION CONTROL FACILITIES SHALL BE INSPECTED AND MAINTAINED AS NECESSARY. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
- A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- MAINTAIN ALL FACILITIES UNTIL ALL PAVEMENT AND/OR GROUND COVER IS ESTABLISHED. ANY DISTURBED AREA WHICH WILL NOT SEE CONSTRUCTION ACTIVITY FOR 14 DAYS OR MORE SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE.
- A PERSON IN RESPONSIBLE CHARGE SHALL BE AVAILABLE DURING CONSTRUCTION HOURS TO SUPERVISE IMPLEMENTATION AND MAINTENANCE OF THE POLLUTION PREVENTION PLAN AND TO ASSIST WITH INSPECTIONS BY ANY REGULATORY AGENCY.
- AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED, SOD, MULCH OR OTHER MANNER CONSISTENT WITH THE APPROVED PLANS.
- CONTRACTOR IS TO INSTALL ALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. (COST TO BE INCLUDED IN BID ITEM FOR EROSION CONTROL.)
- CONSTRUCTION ACTIVITIES THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE (1) ACRE, OR LESS THAN ONE (1) ACRE IF THEY ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT TOTALS AT LEAST ONE (1) ACRE MUST ALSO OBTAIN A PERMIT FROM ODEO (FORM 616-0226) FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. THIS MEANS THAT LAND DISTURBING OF ONE (1) ACRE OR MORE MUST PERMIT WITH ODEO AND THE CITY OF OKLAHOMA CITY, STORM WATER QUALITY.
- DEVELOPER TO SOD ALL DISTURBED AREAS AS PART OF LANDSCAPING.



EROSION CONTROL QUANTITIES

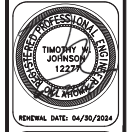
NO	ITEM	UNIT	QTY
GRADING CONTRACTOR			
1.	CONSTRUCTION ENTRANCE	EA	1
2.	SILT FENCE	LF	1975
PAVING CONTRACTOR			
1.	SEED ALL DISTURBED AREAS	LS	1
2.	CONCRETE WASHOUT	EA	1

ONE CALL UTILITY LOCATION NUMBER
800-5632
1-800-522-6543

SWC-

This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

NO.	REVISIONS DESCRIPTION	DATE



GENERAL DATE: 06/30/2024

Johnson & Associates, Inc.
1100 North Oklahoma City, OK 73104
Professional Engineer
• REGISTERED • SUPERVISOR • PLANNER •



ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
EROSION CONTROL PLAN

Proj. No.:
Date: 06-10-24
Scale: 1"=40'

Checked By:
Approved By:

SHEET NUMBER
EC1

FINAL PLAT
of
ALLEY NORTH PHASE 1

BEING A REPLAT OF ALL OF BLOCK 3, ALL OF LOT 26 BLOCK 2, AND A PORTION OF
LOTS 25, 27-38 BLOCK 2 OF ANTON H. CLASSEN'S NORTH BROADWAY ADDITION
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, IM
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That OPERATIONREADYMIX, LLC, an Oklahoma Limited Liability Company, hereby certifies that they are the owner of, and the only persons, firms or companies having title or interest in and to the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma. They have caused the same to be surveyed and platted into lots, as shown on said Final Plat, which said Final Plat represents a correct survey of all property included therein under the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, being a part of the Southeast Quarter (SE/4) of Section Twenty-Eight (28) and of the Southwest Quarter of (SW/4) of Section Twenty-Seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma County, Oklahoma.

They further certify that they are the owners of and the only persons, firms or companies who has any right, title or interest to the land included in the above mentioned Final Plat, and they do hereby dedicate all street rights-of-way and utility easements as shown on said Final Plat to the public, for public streets, public drainage and public utilities for their heirs, executors, administrators, successors and assigns forever and have caused the same to be released from all encumbrances to be executed on this ____ day of _____, 2024.

Signed by the Manager this ____ day of _____, 2024.

OPERATIONREADYMIX, LLC

By: _____
William T. Strange, Manager

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS

Before me, the undersigned, a notary public in and for said county and state on this ____ day of _____, 2024, personally appeared William T. Strange, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its Manager, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such company for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

My Commission No.: _____

CERTIFICATE OF PLANNING COMMISSION

I, _____, Planning Director for the City of Oklahoma City, hereby certify that the City of Oklahoma City Planning Commission duly approved the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma at a meeting the ____ day of _____, 2024.

Planning Director

CERTIFICATE OF CITY CLERK

I, _____, City Clerk of the City of Oklahoma City, Oklahoma County, Oklahoma, hereby certify that I have examined the records of said City and find that all deferred payments on unratified installments upon special assessment have been paid in full and that there are no special assessment procedures now pending against the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma.

Signed by the City Clerk this ____ day of _____, 2024.

City Clerk

ACCEPTANCE OF DEDICATION BY CITY COUNCIL

Be It resolved by the Council of the City of Oklahoma City that the dedication shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma is hereby accepted.

Adopted by the Council of the City of Oklahoma City this ____ day of _____, 2024.

City Clerk

Mayor

BONDED ABTRACTOR'S CERTIFICATE

The undersigned, a duly qualified and lawfully bonded abstractor of titles in and for Oklahoma County and the State of Oklahoma, hereby certify that the records of said county show that the Title to the land shown on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma is vested in OPERATIONREADYMIX, LLC, on the ____ day of _____, 2024, that there are no actions pending or judgements of any nature in any court or on file with the clerk thereof, that the taxes are paid for the year 2023 and prior years, that there are no outstanding tax sales certificates against said land and no tax deeds are issued to any person, that there are no liens, or other encumbrances of any kind against the land included in the Final Plat, except mortgages, rights-of-way, easements, and mineral conveyances of record.

In witness thereof, said Bonded Abstractor has caused this instrument to be executed this ____ day of _____, 2024.

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS

Before me, the undersigned, a notary public in and for said county and state on this ____ day of _____, 2024, personally appeared _____, to me known to be the identical person who subscribed the name of the maker thereof to the foregoing instrument as its _____, and duly acknowledged to me that he executed the same as his free and voluntary act and deed and as the free and voluntary act and deed of such corporation for the uses and purposes therein set forth. Given under my hand and seal the day and year last above written.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

My Commission No.: _____

COUNTY TREASURER'S CERTIFICATE

I, _____, do hereby certify that I am the duly qualified and acting County Treasurer of Oklahoma County and that the tax records of said county show that all taxes for the year 2023 and prior years are paid on the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, and that the required statutory security has been deposited in the offices of the County Treasurer guaranteeing the current year's taxes.

In witness thereof said County Treasurer has caused this instrument to be executed this ____ day of _____, 2024.

County Treasurer

REGISTERED PROFESSIONAL LAND SURVEYOR'S CERTIFICATE

I, Matthew Johnson, a Professional Land Surveyor in the State of Oklahoma, do hereby certify that the Final Plat of ALLEY NORTH PHASE 1, an addition to the City of Oklahoma City, Oklahoma County, Oklahoma, consisting of 2 sheets, represents a careful survey made under my supervision on the ____ day of _____, 2024, and that the plat of survey is an accurate representation of said survey and that all monuments shown hereon actually exist.

I further certify that this plat of survey meets the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted by the Oklahoma State Board of Registration for Professional Engineers and Land Surveyors.

Witness my hand and seal this ____ day of _____, 2024.

Matthew Johnson, P.L.S. No. 1807

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

SS

Before me, the undersigned, a notary public within and for said county and state, personally appeared Matthew Johnson, to me known to be the identical person who executed the within and foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed.

Witness my hand and seal this ____ day of _____, 2024.

My Commission Expires: _____
Notary Public

My Commission No.: _____

PROPERTY DESCRIPTION

A tract of land being a part of the Southeast Quarter (SE/4) of Section Twenty-eight (28) and the Southwest Quarter (SW/4) of Section Twenty-seven (27), Township Twelve (12) North, Range Three (3) West of the Indian Meridian, Oklahoma City, Oklahoma County, Oklahoma, and being all of Block Three (3), all of Lot Twenty-six (26) in Block Two (2) together with portions of Lot Twenty-five (25), Lots Twenty-seven (27) through Thirty-eight (38) and a portion of the vacated Alley adjacent thereto, all in Block Two (2) and all of vacated N.W. 14th Street of ANTON H. CLASSEN'S NORTH BROADWAY ADDITION according to the Plat recorded in Book PL3, Page 3, being more particularly described as follows:

BEGINNING at the Southwest (SW) Corner of Lot 21 in said Block 3;

THENCE North 01°21'44" East, along and with the West lines of said Blocks 3 and 2, a distance of 494.33 feet to a point 49.29 feet North of the Southwest (SW) Corner of Lot 26 of said Block 2;

THENCE North 89°46'35" East, departing the West line of said Block 2, a distance of 459.98 feet to a point on the East line of said Block 2, said point being 49.29 feet North of the Southeast (SE) Corner of Lot 38 of said Block 2;

THENCE along and with the East lines of said Blocks 2 and 3, the following 3 calls:

1. South 01°21'44" West, a distance of 246.83 feet;
2. North 89°46'35" East, a distance of 50.02 feet;
3. South 01°21'44" West, a distance of 247.50 feet to the Southeast (SE) Corner of said Block 3;

THENCE South 89°46'35" West, along and with the South line of said Block 3, a distance of 510.00 feet to the POINT OF BEGINNING.

Containing 239,669 square feet or 5,5020 acres, more or less.

Basis of Bearing: Grid North as established by state plane datum (Oklahoma State Plane North Zone NAD83). All Distances are grid distances in U.S. Survey Feet.

This property description was prepared on the ____ day of _____, 2024, by Matthew Johnson, Licensed Professional Surveyor, No. 1807.

FINAL PLAT
of

ALLEY NORTH PHASE 1



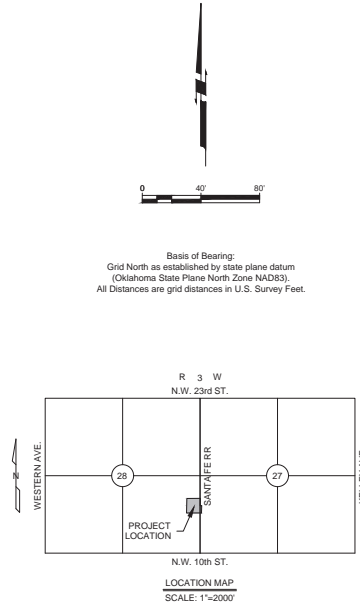
Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 233-8979 FAX: (405) 233-8779 www.ja-plc.com
Certificate of Authorization #1484 Exp. Date: 08-30-2025

ENGINEERS • SURVEYORS • PLANNERS •

OWNER'S NOTARY	CITY CLERK	ABSTRACTOR	ABSTRACTOR'S NOTARY	COUNTY TREASURER	SURVEYOR	SURVEYOR'S NOTARY

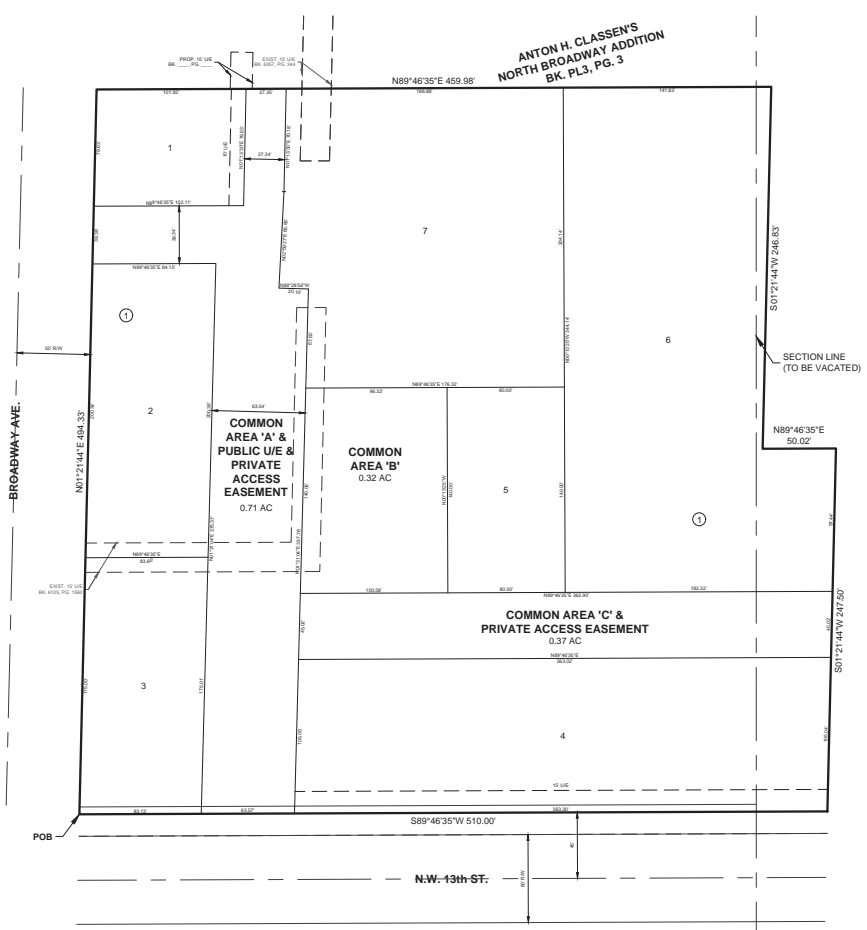
FINAL PLAT of ALLEY NORTH PHASE 1

BEING A REPLAT OF ALL OF BLOCK 3, ALL OF LOT 26 BLOCK 2, AND A PORTION OF
LOTS 25, 27-38 BLOCK 2 OF ANTON H. CLASSEN'S NORTH BROADWAY ADDITION
BEING A PART OF THE SE/4 OF SEC 28 & THE SW/4 OF SEC 27, T12N, R3W, 1M
AN ADDITION TO OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

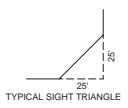


***** NOTE *****

THIS SURVEY MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYORS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS; AND THAT SAID FINAL PLAT COMPLIES WITH THE REQUIREMENTS OF TITLE 11 SECTION 41-108 OF THE OKLAHOMA STATE STATUTES.



- NOTES:**
- All islands/medians within street rights-of-way, and arterial landscaping with its irrigation system, shall be maintained by the Property Owners Association within ALLEY NORTH PHASE 1.
 - Maintenance of all common areas and private drainage easements within ALLEY NORTH PHASE 1 shall be the responsibility of the Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that may cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.



- LEGEND:**
- POB = POINT OF BEGINNING
R/W = RIGHT OF WAY
U/E = PUBLIC UTILITY EASEMENT
D/E = PUBLIC DRAINAGE EASEMENT
D & U/E = DRAINAGE & UTILITY EASEMENT

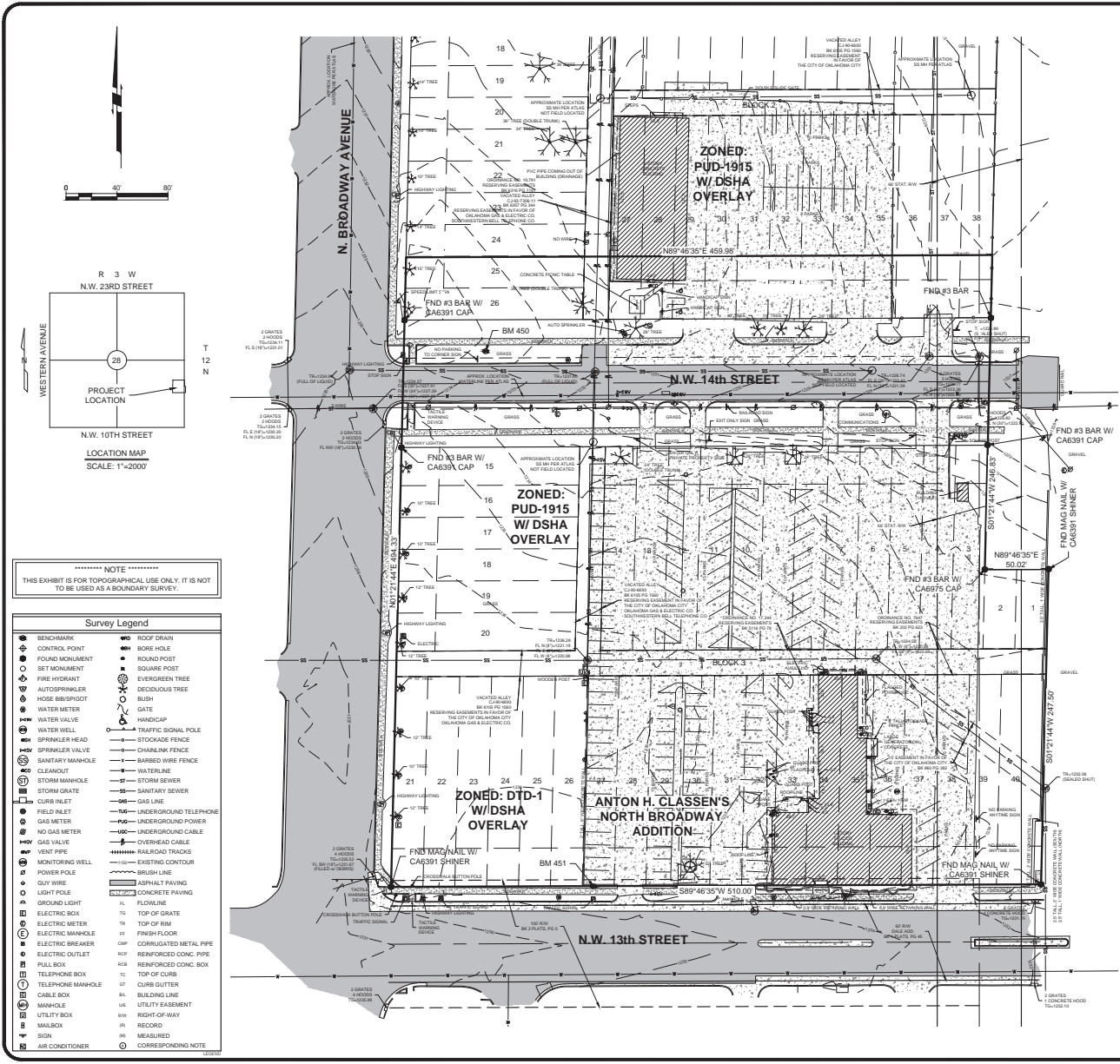
- DENOTES FND. #3 BAR w/CAP STAMPED "J&A 1484" UNLESS OTHERWISE NOTED
- DENOTES SET #3 BAR w/CAP STAMPED "J&A 1484" UNLESS OTHERWISE NOTED
- △ DENOTES SET NAIL "1484 J&A SHINER" UNLESS OTHERWISE NOTED

TOTAL NUMBER OF LOTS = 7
TOTAL COMMON AREA ACRES = 1.40 AC

FINAL PLAT
of
ALLEY NORTH PHASE 1

J&A
Johnson & Associates
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 251-8979 FAX: (405) 251-8978 www.jandac.com
Certificate of Authorization #1484 Exp. Date: 08-30-2025

ENGINEERS • SURVEYORS • PLANNERS •



Certificate of Survey

I, Matthew Johnson, certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision. The field work was completed on March 19, 2024. All coordinates are based on Oklahoma State Plane North Zone NAD83 and all elevations are based on NAVD83.

Date: June 5, 2024



Matthew Johnson, P.L.S.
 Registration No. 1807
JOHNSON & ASSOCIATES
 Certificate of Authorization No. 1494

Surveyor's Note:

The utilities shown herein have been located in the field by above ground inspection only. The underground utilities shown herein have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities shown herein comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown herein are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities. A Call OKEE request was made on March 13, 2024 with a ticket numbers of 24031916003712, 24031916123747, 24031916383909, 24031916423840, 24031916453964, 24031916473965. All utilities that were marked at the time the field work was performed have been located and are shown on the survey.

No portion of the property shown on the survey lies within a Special Hazard Area, as described on the Flood Insurance Rate map for the community in which the subject property is located. The entire parcel lies within Zone "X" of the Federal Emergency Management Agency Community Panel Number 40109C0285H Map with an effective date of December 18, 2009.

The subject tract is currently zoned PUD-1915 AND DTD-1 with DSHA overlay.

Source: The City of Oklahoma City, Oklahoma Planning Department website at www.okc.gov, Phone: 405-297-2923 for more information about Building Height, setback and parking restrictions for this zoning.

All Horizontal coordinate values shown are U.S. Survey feet and all vertical elevation values are shown in feet. The Basis of Bearing is Oklahoma State Plane North Zone NAD83. All distances are Grid distances. Vertical datum is NAVD83. The original Benchmark is Oklahoma City Monument 234.

Original Benchmark:
 Source: City of Oklahoma City GPS Datum
 Horizontal Datum: NAD83/CORS 98, NRS 2007
 Vertical Datum: NAVD83, GEOID 03

Benchmark # 234
 Northing: 17573.689
 Easting: 212247.116
 Elevation: 1243.059
 Description: Approximately 25' East of the CL of Jordan Ave. and 18' North of the CL of NE 11th St.
 Object: OKC 2' Diameter Aluminum Cap

Benchmarks by Johnson & Associates

Set On/Underground:
 Benchmark # 450
 Northing: 17840.36
 Easting: 211334.48
 Elevation: 1233.84
 Description: Located on the North side of NW 14th Street approx. 115' East of the centerline of Broadway, 10' NE of iron parking sign and 5' South of sidewalk
 Object: #4 bar with J&A Control Cap

Benchmark # 451
 Northing: 17800.21
 Easting: 211949.13
 Elevation: 1256.41
 Description: Located on the North side of NW 13th Street approx. 202' East of the centerline of Broadway, 10' North of traffic signal box in the grass North of sidewalk and South of parking lot
 Object: #4 bar with J&A Control Cap

Benchmark # 452
 Northing: 17723.23
 Easting: 211332.43
 Elevation: 1211.89
 Description: Located on the South side of NW 14th Street approx. 55' East of the centerline of Broadway, on the corner of a 90 degree in sidewalk
 Object: Mag Nail with J&A control cap

***** NOTE *****
 THIS EXHIBIT IS FOR TOPOGRAPHICAL USE ONLY. IT IS NOT TO BE USED AS A BOUNDARY SURVEY.

Survey Legend	
⊕	BENCHMARK
⊙	CONTROL POINT
⊛	FOUND MONUMENT
⊠	SET MONUMENT
⊕	FIRE HYDRANT
⊕	AUTO SPRINKLER
⊕	HOSE DISBURSPT
⊕	WATER METER
⊕	WATER VALVE
⊕	WATER WELL
⊕	SPRINKLER HEAD
⊕	SPRINKLER VALVE
⊕	SANITARY MANHOLE
⊕	CLEANOUT
⊕	STORM MANHOLE
⊕	STORM GRATE
⊕	CURB INLET
⊕	FIELD INLET
⊕	GAS METER
⊕	NO GAS METER
⊕	GAS VALVE
⊕	VENT PIPE
⊕	MONITORING WELL
⊕	POWER POLE
⊕	GUY WIRE
⊕	LIGHT POLE
⊕	GROUND LIGHT
⊕	ELECTRIC BOX
⊕	ELECTRIC METER
⊕	ELECTRIC MANHOLE
⊕	ELECTRIC BREAKER
⊕	ELECTRIC OUTLET
⊕	PULL BOX
⊕	TELEPHONE BOX
⊕	TELEPHONE MANHOLE
⊕	CABLE BOX
⊕	MANHOLE
⊕	UTILITY BOX
⊕	MAILBOX
⊕	SIGN
⊕	AIR CONDITIONER
⊕	ROOF DRAIN
⊕	BORH HOLE
⊕	ROUND POST
⊕	SQUARE POST
⊕	EVERGREEN TREE
⊕	DECIDUOUS TREE
⊕	BUSH
⊕	GATE
⊕	HANDICAP
⊕	TRAFFIC SIGNAL POLE
⊕	STOCKADE FENCE
⊕	CHARLINK FENCE
⊕	BARBED WIRE FENCE
⊕	WATERLINE
⊕	STORM SEWER
⊕	SANITARY SEWER
⊕	GAS LINE
⊕	UNDERGROUND TELEPHONE
⊕	UNDERGROUND POWER
⊕	UNDERGROUND CABLE
⊕	OVERHEAD CABLE
⊕	EXISTING CONTOUR
⊕	BRUSH LINE
⊕	ASPHALT PAVING
⊕	CONCRETE PAVING
⊕	FL.WLINE
⊕	TOP OF GRATE
⊕	TOP OF RIM
⊕	FINISH FLOOR
⊕	CORRUGATED METAL PIPE
⊕	REINFORCED CONC. PIPE
⊕	REINFORCED CONC. BOX
⊕	TOP OF CURB
⊕	CURB GUTTER
⊕	BUILDING LINE
⊕	UTILITY EASEMENT
⊕	RIGHT-OF-WAY
⊕	RECORD
⊕	MEASURED
⊕	CORRESPONDING NOTE

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REVISIONS	DESCRIPTION	DATE
NO.		

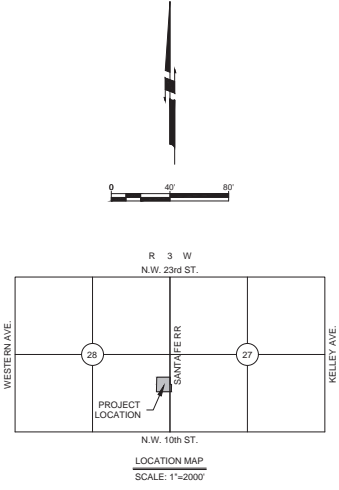
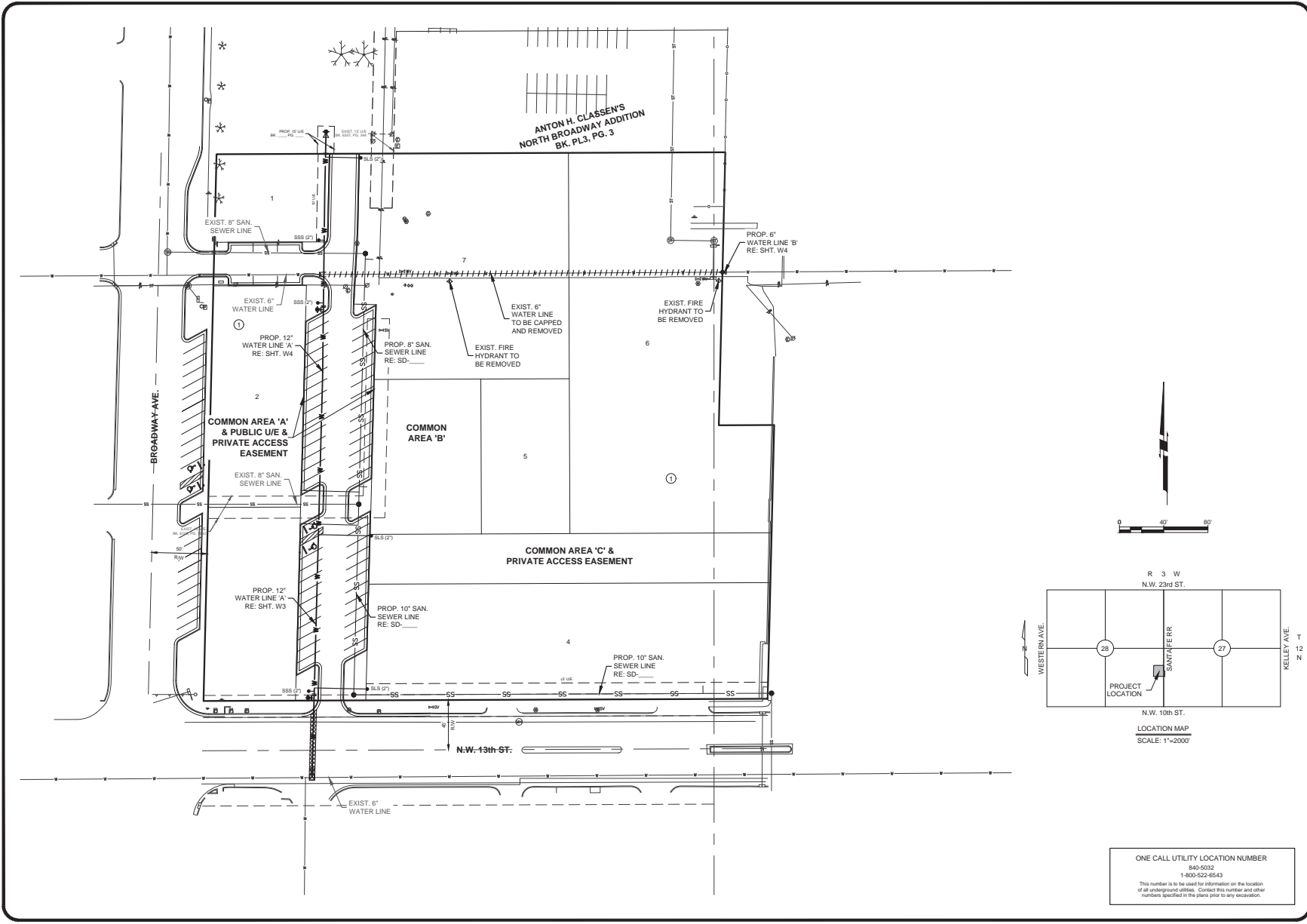
Johnson & Associates
 1 E. Sheridan Ave., Suite 200
 Oklahoma City, OK 73104
 (405) 297-2923
 www.johnsonandassociates.com
 • ENGINEERS • SURVEYORS • PLANNERS •

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA

TOPOGRAPHIC SURVEY

Proj. No. 532901
 Date: 6-5-24
 Scale: 1"=40'
 Surveyed by: JMM
 Drawn by: JMM
 Approved by: MJ

SHEET NUMBER
TS



ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-8543
This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

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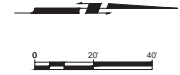
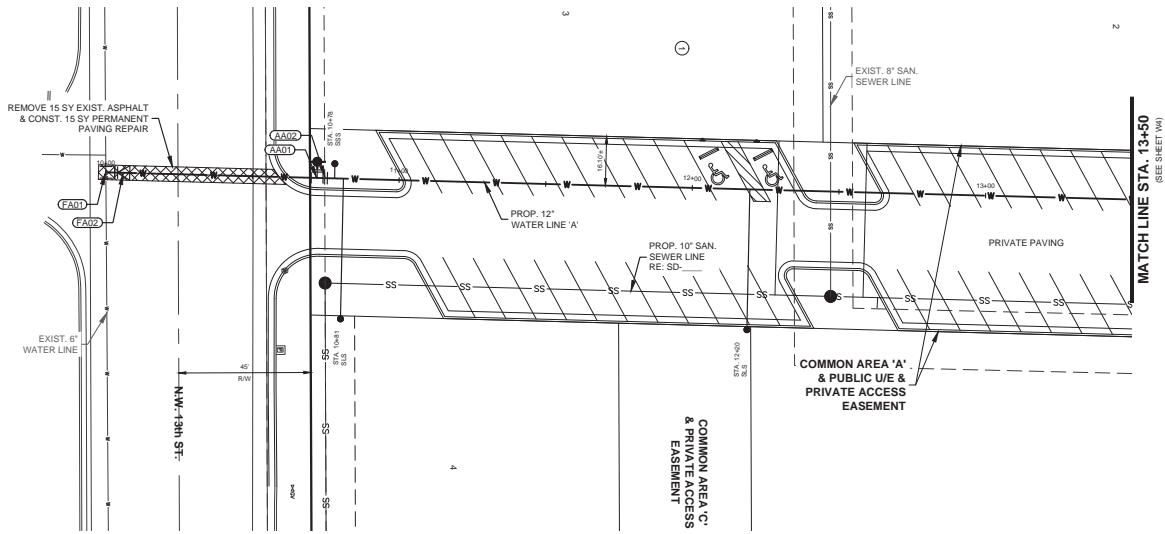
NO.	REVISIONS DESCRIPTION	DATE

Johnson & Associates
 1 E Oklahoma City, OK 73104
 (405) 241-1100
 Contract & Administration - Est. Date 08-20-05
 • ENGINEER • SUPERVISOR • PLANNER •

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
WATER LINE GENERAL LAYOUT

Checked By:	WA
Date:	08-10-24
Scale:	1"=40'
Approved By:	

SHEET NUMBER
W2

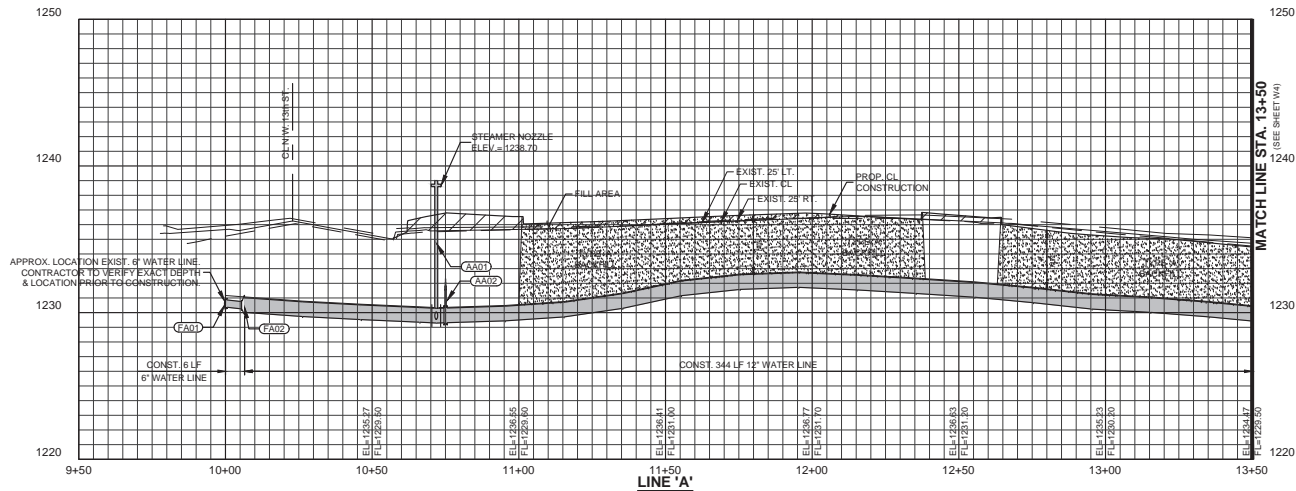


WATER METERS, GATE VALVES, & FIRE HYDRANTS
MUST SIT OUTSIDE PAVING FOR SIDEWALKS &
DRIVEWAYS.

6" FITTING TABLE				
NAME	STATION	LINE	DESCRIPTION	FLOWLINE
FA01	10+00	LINE 'A'	6"x 6" TEE	1230.30

12" FITTING TABLE				
NAME	STATION	LINE	DESCRIPTION	FLOWLINE
FA02	10+06	LINE 'A'	12"x 6" REDUCER	1230.00

12" APPURTENANCE TABLE				
NAME	STATION	LINE	DESCRIPTION	FLOWLINE
AA01	10+72.03	LINE 'A'	12"x 6" TEE 6" GATE VALVE & BOX FIRE HYDRANT 12" RISER (IF REQ'D)	1229.50
AA02	10+75.03	LINE 'A'	12" GATE VALVE & BOX	1229.60



ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-8543
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of all underground utilities. Contact this number and other
numbers specified in the plans prior to any excavation.

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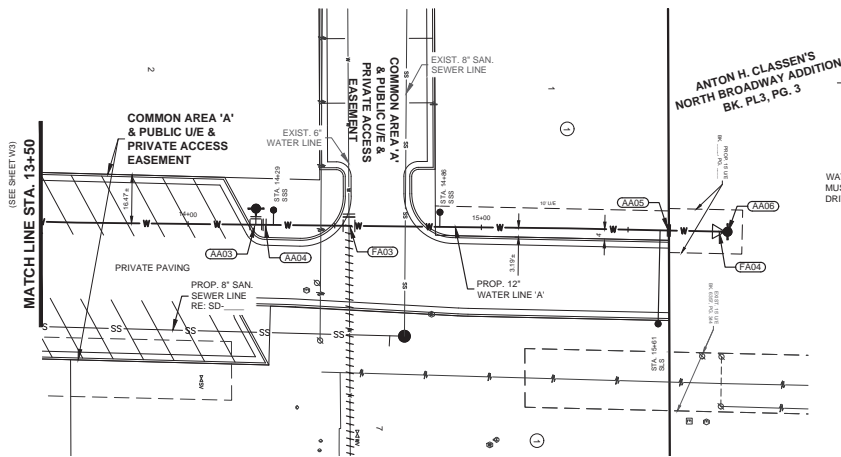
Johnson & Associates
 1 E. Oklahoma City, OK 73104
 (405) 944-4444
 CONTRACTORS OF PROFESSIONAL SERVICE Exp. Date 08-30-2025
 ENGINEERS • SURVEYORS • PLANNERS

ALLEY NORTH PHASE 1
 OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
 WATER LINE PLAN & PROFILE
 LINE 'A'

NO.	REVISIONS DESCRIPTION	DATE

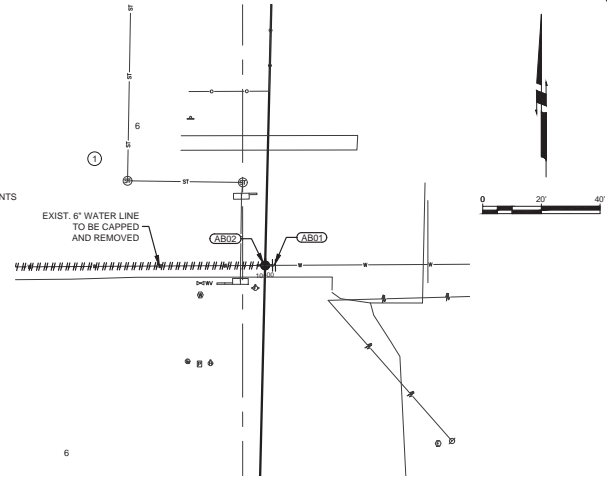
Proj. No.: WA-
 Date: 06-10-24
 State (Photo): WA-
 (View): 12"x18"
 Checked By: K.C.
 Approved By:

SHEET NUMBER
W3



ANTON H. CLASSEN'S
NORTH BROADWAY ADDITION
BK. PL.3, PG. 3

WATER METERS, GATE VALVES, & FIRE HYDRANTS
MUST SIT OUTSIDE PAVING FOR SIDEWALKS &
DRIVEWAYS.

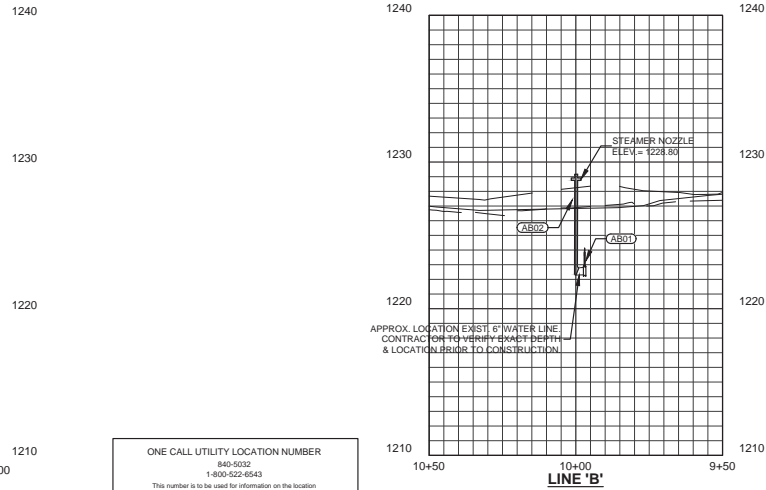
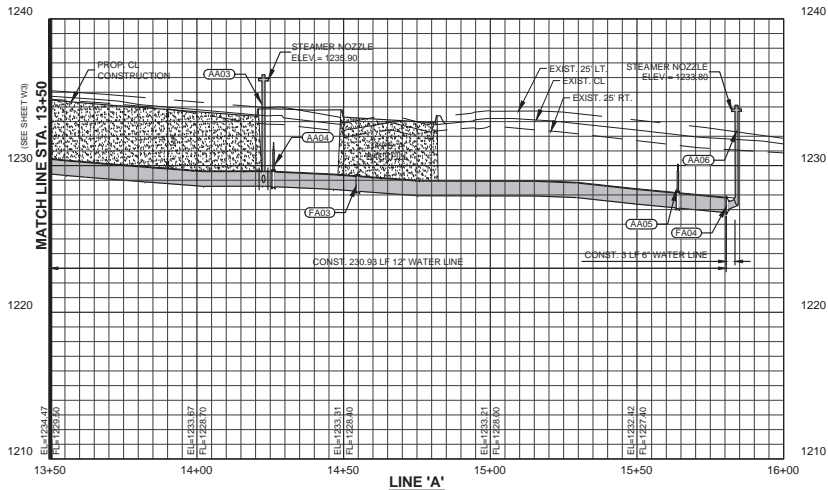


12" FITTING TABLE				
NAME	STATION	LINE	DESCRIPTION	FLOWLINE
FA03	14+54.86	LINE 'A'	12"x6" TEE 1-6" SOLID SLEEVE	1228.30
FA04	15+80.93	LINE 'A'	12"x6" REDUCER	1226.80

12" APPURTENANCE TABLE				
NAME	STATION	LINE	DESCRIPTION	FLOWLINE
AA03	14+23.10	LINE 'A'	12"x6" TEE 6" GATE VALVE & BOX FIRE HYDRANT 12" RISER (IF REQ'D)	1228.80
AA04	14+26.10	LINE 'A'	12" GATE VALVE & BOX	1228.80
AA05	15+63.93	LINE 'A'	12" GATE VALVE & BOX	1227.40

6" APPURTENANCE TABLE				
NAME	STATION	LINE	DESCRIPTION	FLOWLINE
AA05	15+83.93	LINE 'A'	FIRE HYDRANT 12" RISER (IF REQ'D)	1227.20

6" APPURTENANCE TABLE				
NAME	STATION	LINE	DESCRIPTION	FLOWLINE
AB01	9+97	LINE 'B'	6" GATE VALVE & BOX	1222.30
AB02	10+00	LINE 'B'	FIRE HYDRANT 12" RISER (IF REQ'D)	1222.30

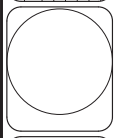


ONE CALL UTILITY LOCATION NUMBER
840-5032
1-800-522-6543
This number is to be used for information on the location
of all underground utilities. Contact this number and other
numbers specified in the plans prior to any excavation.

(SEE SHEET W3)
MATCH LINE STA. 13+50

APPROX. LOCATION EXIST. 6" WATER LINE
CONTRACTOR TO VERIFY DEPTH & LOCATION
PRIOR TO CONSTRUCTION.

NO.	REVISIONS DESCRIPTION	DATE



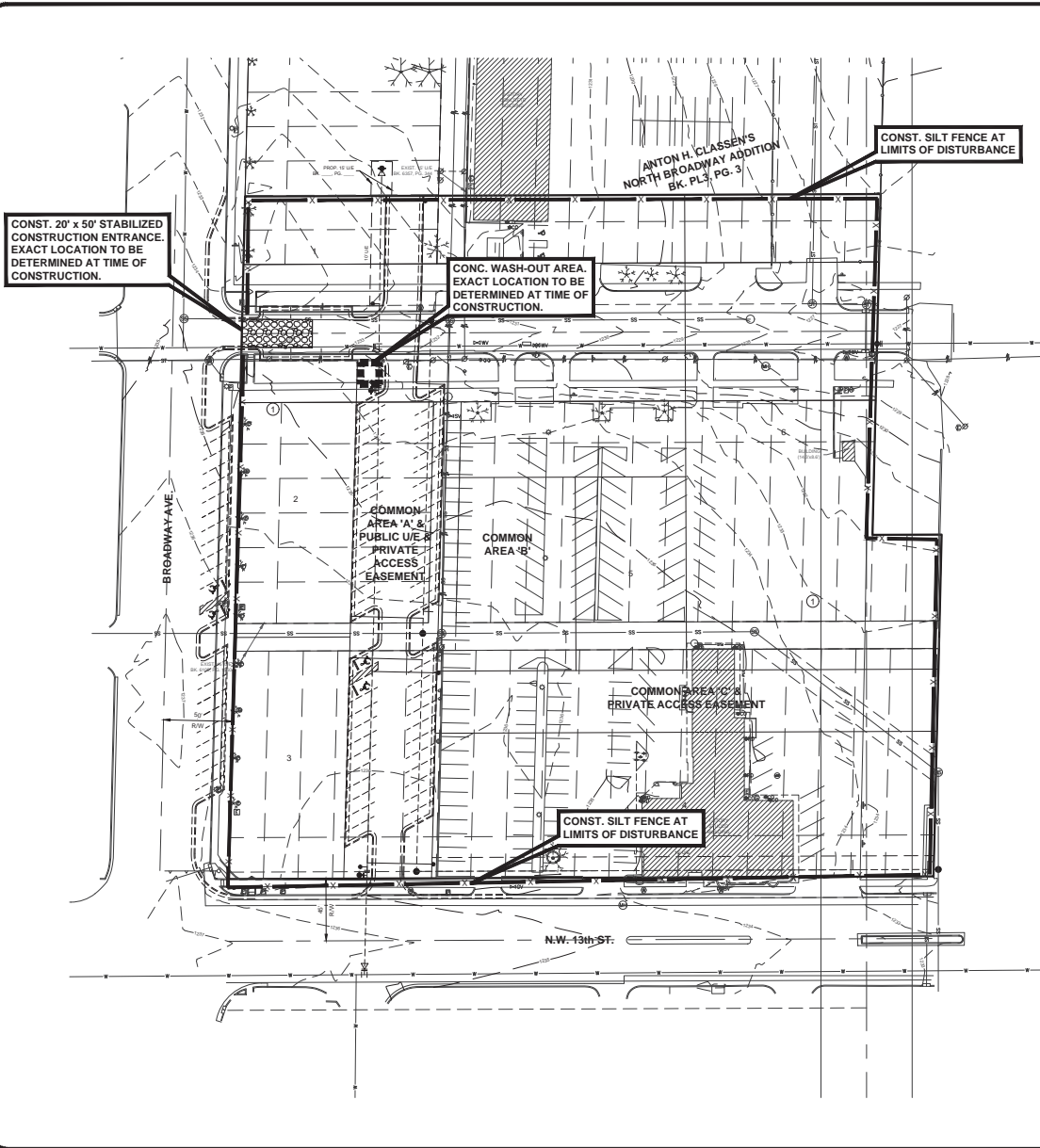
Johnson & Associates
1100
Oklahoma City, OK 73104
Contractors of Professional Status Exp. Date 08-30-2025
ENGINEER • SUPERVISOR • PLANNER



ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
WATER LINE PLAN & PROFILE
LINES 'A' & 'B'

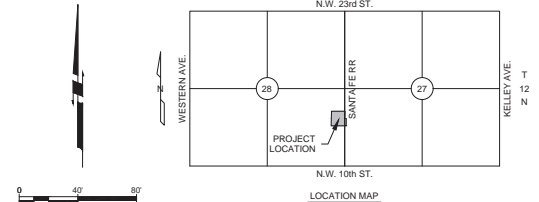
Proj. No. WA-
Date: 06-10-24
Scale: (Plan) 1"=40'
(Profile) 1"=4'
Checked By: JTC
Approved By:

SHEET NUMBER
W4



EROSION CONTROL - GENERAL NOTES

- CONTRACTOR TO PROVIDE A TEMPORARY CULVERT UNDER ALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCES AS NECESSARY.
- INSTALL PERIMETER EROSION CONTROL DEVICES PRIOR TO REMOVING TOPSOIL OR BEGINNING GRADING ACTIVITIES.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE IN AN AREA DRAINING INTO THE POLLUTION CONTROL SYSTEM.
- CONSTRUCT ROCK BAG DITCH CHECKS AS SHOWN ON THE APPROVED PLANS AND AS NECESSARY TO PREVENT EROSION DAMAGE PRIOR TO PAVING.
- AFTER ALL PRECIPITATION OF 0.5 INCHES OR GREATER, EROSION CONTROL FACILITIES SHALL BE INSPECTED AND MAINTAINED AS NECESSARY. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS. COMPLETED INSPECTION FORMS SHALL BE KEPT ON SITE AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ALL EROSION CONTROL DEVICES DAMAGED DUE TO CONSTRUCTION.
- A COPY OF THE EROSION CONTROL SITE PLAN MUST BE ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST.
- MAINTAIN ALL FACILITIES UNTIL ALL PAVEMENT AND/OR GROUND COVER IS ESTABLISHED. ANY DISTURBED AREA WHICH WILL NOT SEE CONSTRUCTION ACTIVITY FOR 14 DAYS OR MORE SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE.
- A PERSON IN RESPONSIBLE CHARGE SHALL BE AVAILABLE DURING CONSTRUCTION HOURS TO SUPERVISE IMPLEMENTATION AND MAINTENANCE OF THE POLLUTION PREVENTION PLAN AND TO ASSIST WITH INSPECTIONS BY ANY REGULATORY AGENCY.
- AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED, SOD, MULCH OR OTHER MANNER CONSISTENT WITH THE APPROVED PLANS.
- CONTRACTOR IS TO INSTALL ALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. (COST TO BE INCLUDED IN BID ITEM FOR EROSION CONTROL.)
- CONSTRUCTION ACTIVITIES THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE (1) ACRE, OR LESS THAN ONE (1) ACRE IF THEY ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE THAT TOTALS AT LEAST ONE (1) ACRE MUST ALSO OBTAIN A PERMIT FROM ODEO (FORM 616-0226) FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. THIS MEANS THAT LAND DISTURBING OF ONE (1) ACRE OR MORE MUST PERMIT WITH ODEO AND THE CITY OF OKLAHOMA CITY, STORM WATER QUALITY.
- DEVELOPER TO SOD ALL DISTURBED AREAS AS PART OF LANDSCAPING.



EROSION CONTROL QUANTITIES

NO	ITEM	UNIT	QTY
GRADING CONTRACTOR			
1.	CONSTRUCTION ENTRANCE	EA	1
2.	SILT FENCE	LF	1975
PAVING CONTRACTOR			
1.	SEED ALL DISTURBED AREAS	LS	1
2.	CONCRETE WASHOUT	EA	1

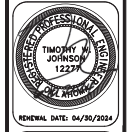
ONE CALL UTILITY LOCATION NUMBER
800-5932
1-800-522-6543

SWC-

This number is to be used for information on the location of all underground utilities. Contact this number and other numbers specified in the plans prior to any excavation.

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NO.	REVISIONS DESCRIPTION	DATE



GENERAL DATE: 06/30/2024

Johnson & Associates, Inc.
1100 North Oklahoma City, OK 73104
Professional Engineer
• REGISTERED • SUPERVISORS • PLANNERS •

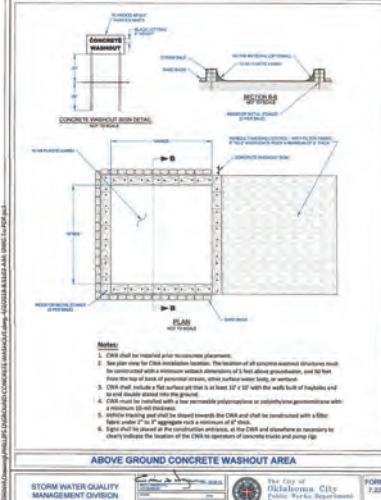
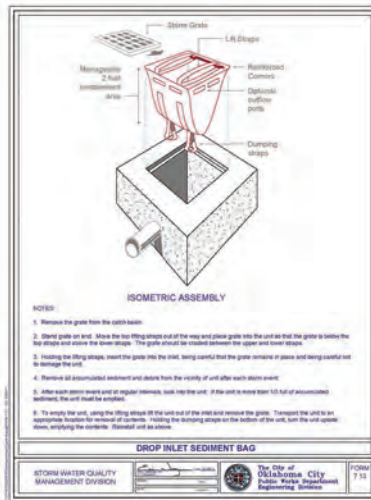
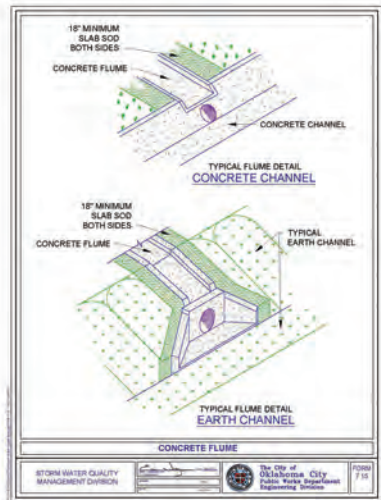
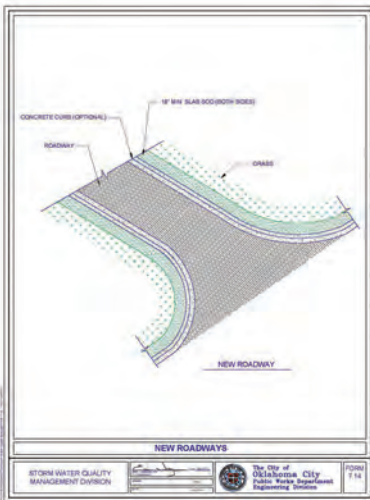
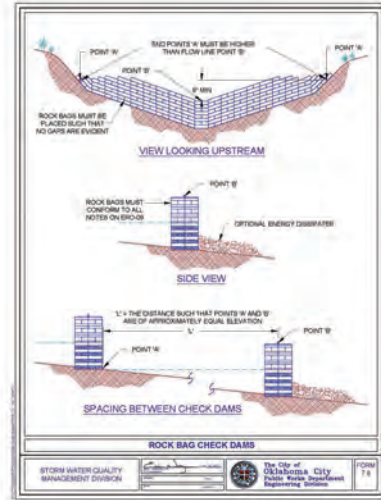
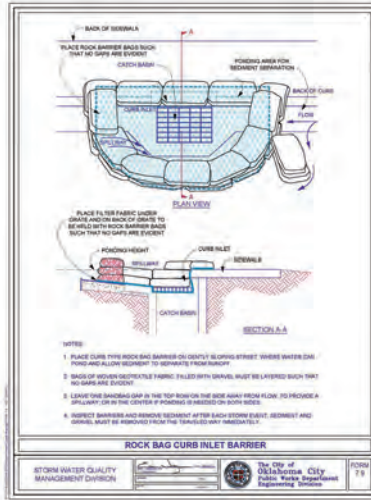
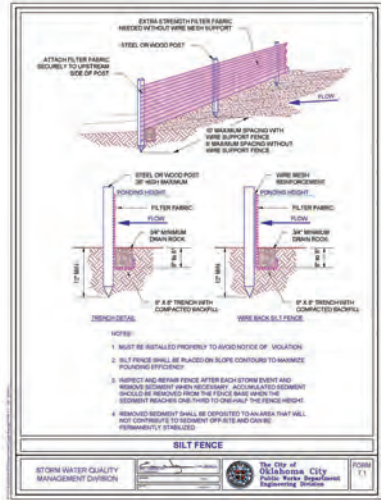
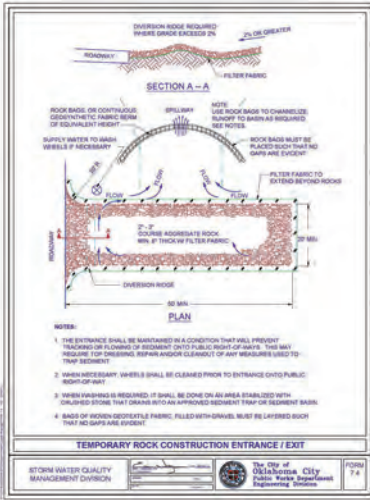


ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
EROSION CONTROL PLAN

Proj. No.:
Date: 06-10-24
Scale: 1"=40'

Checked By:
Approved By:

SHEET NUMBER
EC1



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Revision History

NO.	DESCRIPTION	DATE

Johnson & Associates
1100 S. Oklahoma City, OK 73104
City of Oklahoma City
Public Works Department
Engineering Section

• ENGINEER • SUPERVISOR • PLANNER •

ALLEY NORTH PHASE 1
OKLAHOMA CITY, OKLAHOMA COUNTY, OKLAHOMA
EROSION CONTROL DETAILS

Form No.
Date: 06-10-24
Scale: N.T.S.

Checked By:
Approved By:

SHEET NUMBER
EC2

OKLAHOMA CITY REDEVELOPMENT AUTHORITY

TRUSTEES

J. Larry Nichols
Chairman

James R. Tolbert III
Vice Chairman

vacant

Judy J. Hatfield

David Holt

Russell M. Perry

Mark K. Stonecipher

EXECUTIVE DIRECTOR

Kenton Tsoodle

To: Board of Trustees of the Oklahoma City Redevelopment Authority

From: Kenton Tsoodle, Executive Director

Date: January 15, 2025

Ref: Resolution Approving Development Plans Submitted By 5ANDWAL LLC Pursuant to the Economic Development Agreement, Oklahoma Regional Innovation District Project Plan

Background: OCRA has previously entered into EDA with 5ANDWAL LLC. Under the EDA, OCRA will provide public assistance in development financing in an amount not to exceed \$3,140,000.

As one of the conditions precedent to the payment of any assistance, the Developer shall have prepared and submitted to OCRA Development Plans for the Project, which shall include design development documents, landscaping plans, and any other drawings and other documents to fix and describe the size and character of the improvements to be constructed on the Property.

The Developer has submitted Development Plans to OCRA.

Summary of Agenda Item: The resolution approves the Development Plans submitted by the Developer.

Recommendation: Approval of Resolution

Attachments: Development Plans

RESOLUTION NO. _____

RESOLUTION APPROVING DEVELOPMENT PLANS SUBMITTED BY 5ANDWAL LLC PURSUANT TO THE ECONOMIC DEVELOPMENT AGREEMENT, OKLAHOMA REGIONAL INNOVATION DISTRICT PROJECT PLAN

WHEREAS, the Oklahoma City Urban Renewal Authority (“OCURA”) and 5ANDWAL LLC (“Developer”) have entered into a Contract for Sale of Land and Redevelopment (“Redevelopment Agreement”), that contemplates the conveyance of the Property (as defined in the Redevelopment Agreement) from OCURA to the Developer for the purpose of developing a project consisting of a 4-story office building containing approximately 60,000 square feet of Class A office space, and approximately 120 on-site parking spots, including public streetscaping and all necessary public and private utility relocations (“Project”); and

WHEREAS, in the approval and adoption of the First Amendment to the Oklahoma Regional Innovation District Project Plan (“Project Plan”), pursuant to the Oklahoma Local Development Act, 62 O.S. §850, *et seq.*, the City designated the Oklahoma City Redevelopment Authority (“OCRA”), as the public entity responsible for implementing the Project Plan; and

WHEREAS, the Property lies within the Project Plan’s Increment District No. “P,” one of several tax increment districts to be created and effectuated at a future date to be determined by the City; and

WHEREAS, consistent with the Project Plan, OCRA and the Developer entered into an Economic Development Agreement under which OCRA will provide public assistance in development financing in an amount not to exceed \$3,140,000.00 to the Developer in support of the Project and, in exchange, the Project will be developed and constructed; and

WHEREAS, as one of the conditions precedent to the payment of any assistance, the Developer shall have prepared and submitted to OCRA Development Plans for the Project, which, as more particularly defined in the Economic Development Agreement, shall include design development documents, landscaping plans, and any other drawings and other documents to fix and describe the size and character of the improvements to be constructed on the Property for the Project as to materials, colors, orientation, and other such essential elements; and

WHEREAS, the Developer has submitted the Development Plans to OCRA; and

WHEREAS, the Board of Trustees deems it appropriate and desirable to approve the Development Plans submitted by the Developer for the Project.

NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of the Oklahoma City Redevelopment Authority as follows:

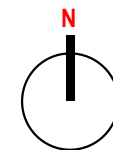
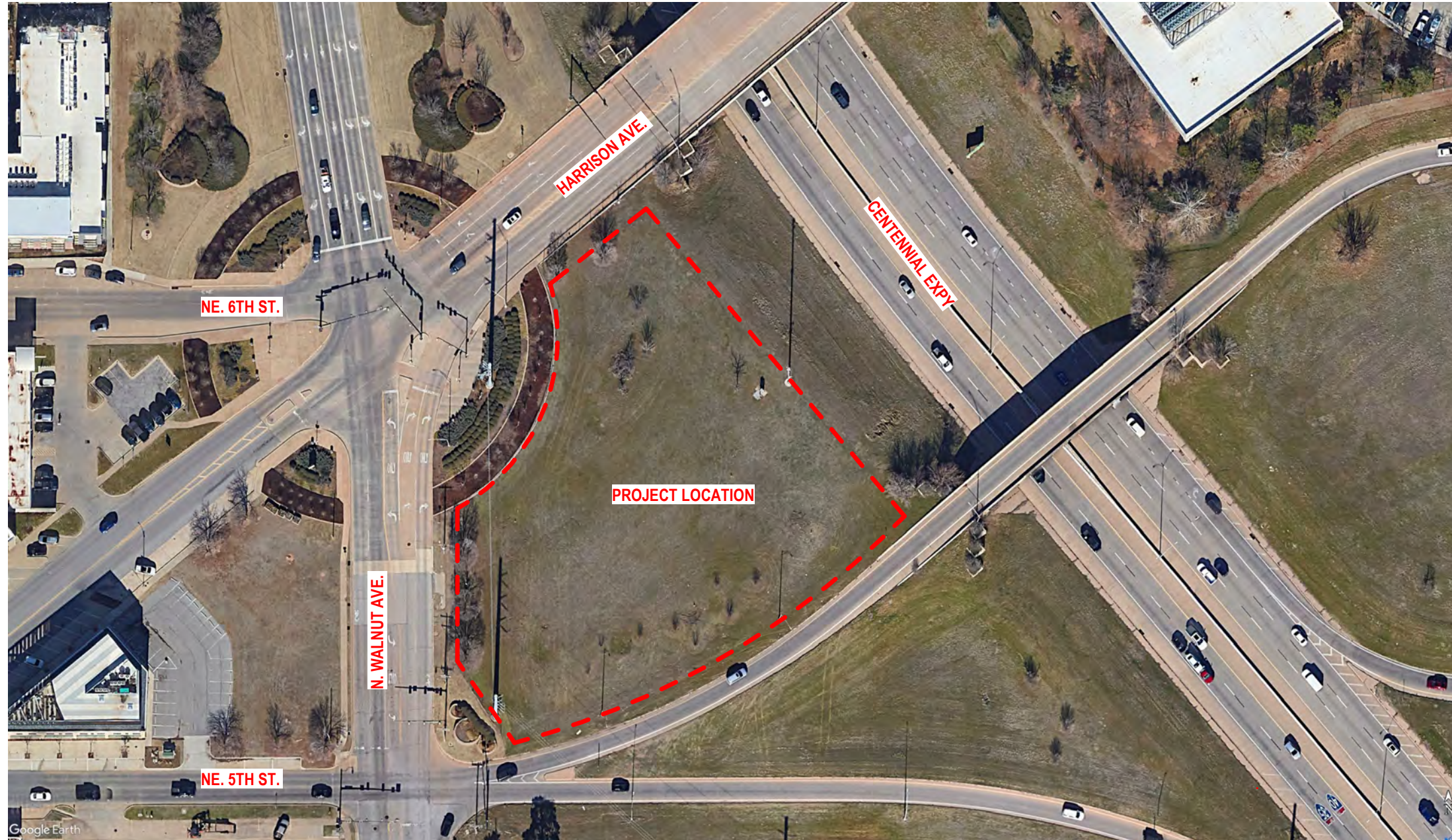
1. The Development Plans submitted by the Developer pursuant to the Economic Development Agreement are hereby approved.

2. The Officers and Executive Director of OCRA, with the assistance of Legal Counsel, are authorized to approve and execute such documents and take such actions as may be necessary or appropriate or appropriate to implement the authorizations made by this resolution.

I, _____, Secretary of the Board of Trustees of the Oklahoma City Redevelopment Authority, certify that the foregoing Resolution No. _____ was duly adopted at a **regular** meeting of the Board of Trustees of the Oklahoma City Redevelopment Authority, held at the Arts District Garage Conference Room, 431 West Main Street, Suite B, Oklahoma City, Oklahoma 73102, on the **15th** day of **January, 2025**; that said meeting was held in accordance with the By-Laws of OCRA and the Oklahoma Open Meetings Act; that any notice required to be given of such meeting was properly given; that a quorum was present at all times during said meeting; and that the Resolution was duly adopted by a majority of the Trustees present.

SECRETARY

(SEAL)



5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
SHEET: A0.0 COVER

RAND ELLIOTT
ARCHITECTS

35 Harrison Avenue
Oklahoma City, OK 73104
405.232.9554



LIGHTING LEGEND	
	POLE LIGHT ON CONCRETE PEDESTAL STOOL
	LINEAR LIGHT
	TREE LIGHT
PARKING	
COMPACT PARKING (7' - 6" X 15' - 0") = 5 ADA PARKING (11' - 0" X 18' - 0") W/ 5' - 0" AISLE = 5 PARKING (8' - 6" X 18' - 0") = 94 TOTAL PARKING: 104	
LANDSCAPE LEGEND	
	WATER RETENTION
	3" CALIPER TREE CHINESE PISTACHE QUANTITY = 47 TREES LANDSCAPE POINTS = 47 x 15 = 705
	EVERGREEN LARGE SHRUB NELLIE STEVENS HOLLY AT 4'-0" CENTERS, 3FT LARGE SHRUB: QUANTITY = 946' - 0" LINEAR FEET OF HEDGE LANDSCAPE POINTS = (946 / 4) x 3 = 709 6FT LARGE SHRUB: QUANTITY = 93' - 0" LINEAR FEET OF HEDGE LANDSCAPE POINTS = (93 / 4) x 3 = 69
	EVERGREEN GROUNDCOVER PURPLELEAF WINTER CREEPER EUNONYMUS FORTUEI "COLORATUS" QUANTITY = 568 SF 1GAL POTS 1 POT PER 1SF = 568 1GAL POTS LANDSCAPE POINTS = 1,170 x 1/2 = 284
	BERMUDA TURF GRASS QUANTITY = 11,720 SF = 1,302 SY LANDSCAPE POINTS = 1302 x 1/4 = 325
TOTAL LANDSCAPE POINTS = 2,092	
REQUIRED LANDSCAPE POINTS DEVELOPED LAND = 69,432SF / 200 = 348 REQUIRED PARKING = 0 ADDITIONAL PARKING = 104 x 1 = 104	
TOTAL REQUIRED LANDSCAPE POINTS = 452	

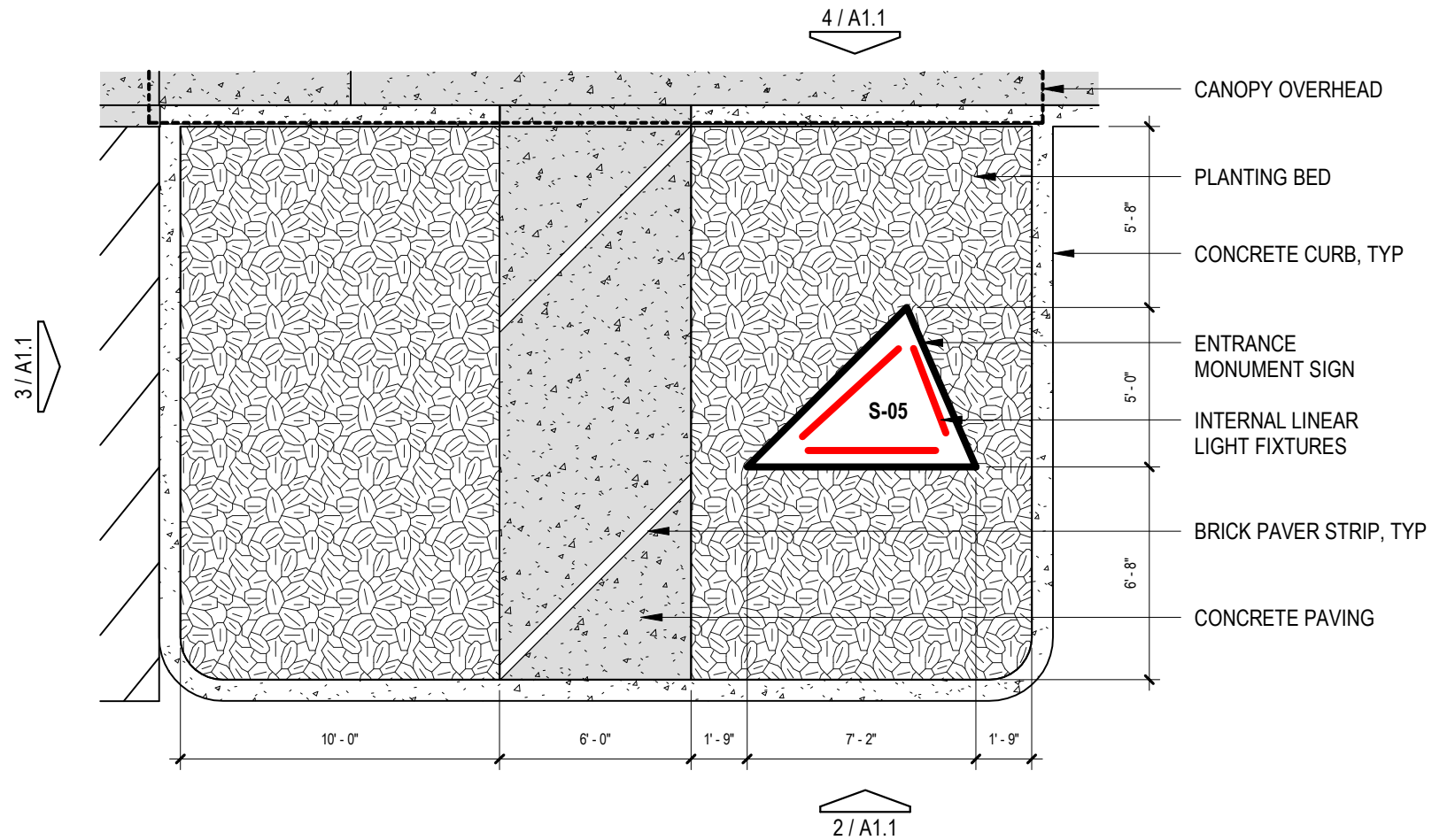
1 **SITE PLAN**
A1.0 SCALE: 1" = 40'-0"

5 SANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.0 SITE PLAN

RAND ELLIOTT
 ARCHITECTS

35 Harrison Avenue
 Oklahoma City, OK 73104
 405.232.9554

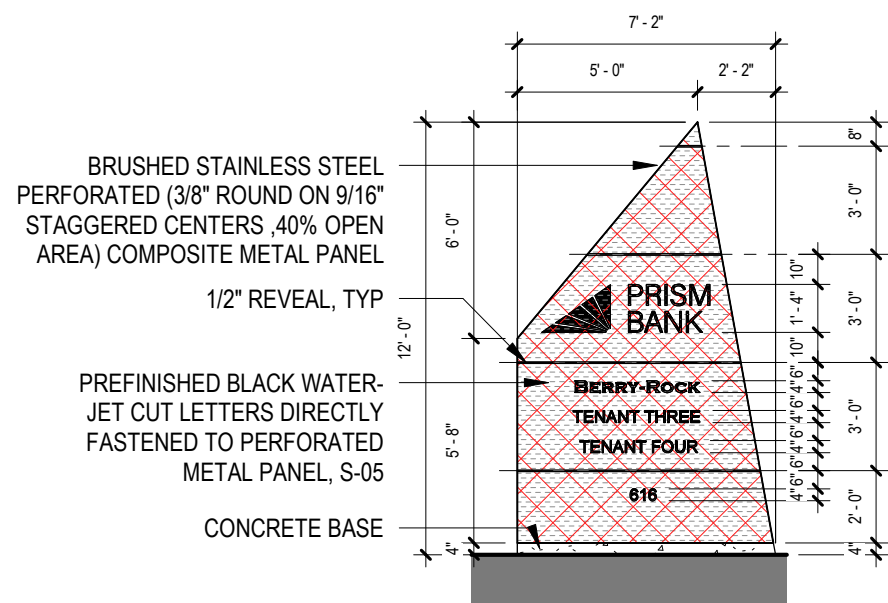


EXTERIOR SIGNAGE LEGEND		
CODE	SF	DESCRIPTION
S-01	73	W CHANNEL LIT SIGN
S-02	73	E CHANNEL LIT SIGN
S-03	24	SW CHANNEL LIT SIGN
S-04	94	NE CHANNEL LIT SIGN
S-05	56	ENTRY MONUMENT SIGN
S-06	156	STREET MONUMENT SIGN
TOTAL SQ FT = 476		



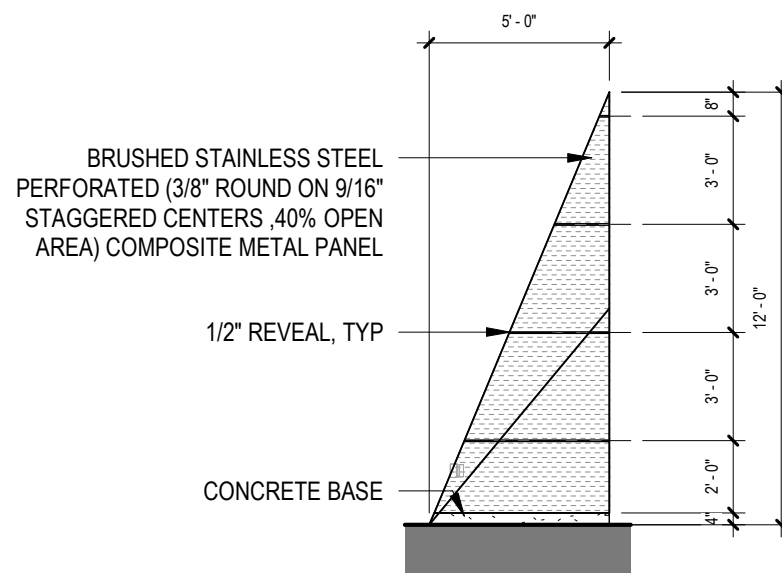
1 MONUMENT SIGN @ BUILDING ENTRANCE

A1.1 SCALE: 3/16" = 1'-0"



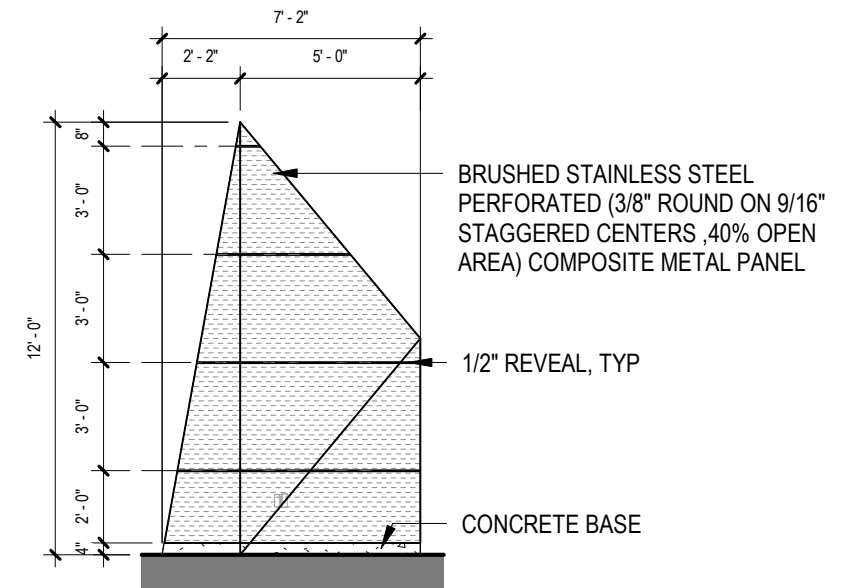
2 ENTRY MONUMENT SIGN ELEV - FRONT

A1.1 SCALE: 3/16" = 1'-0"



3 ENTRY MONUMENT SIGN ELEV - SIDE

A1.1 SCALE: 3/16" = 1'-0"



4 ENTRY MONUMENT SIGN ELEV - BACK

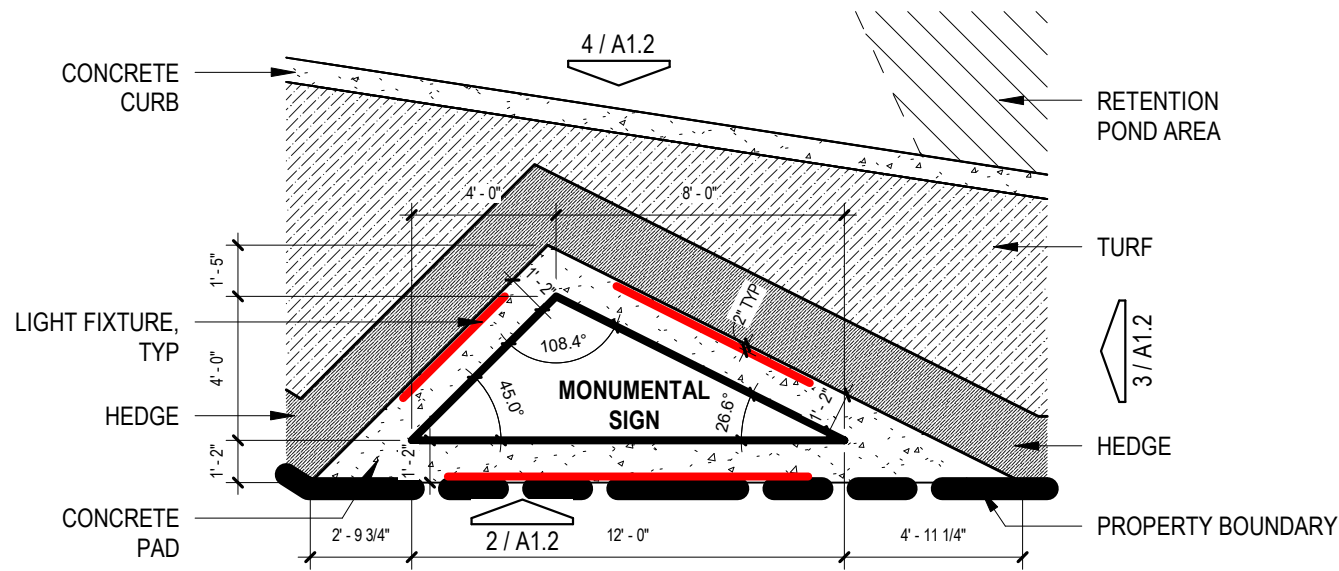
A1.1 SCALE: 3/16" = 1'-0"

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.1 MONUMENT SIGN @ ENTRANCE

RAND ELLIOTT
 ARCHITECTS

35 Harrison Avenue
 Oklahoma City, OK 73104
 405.232.9554

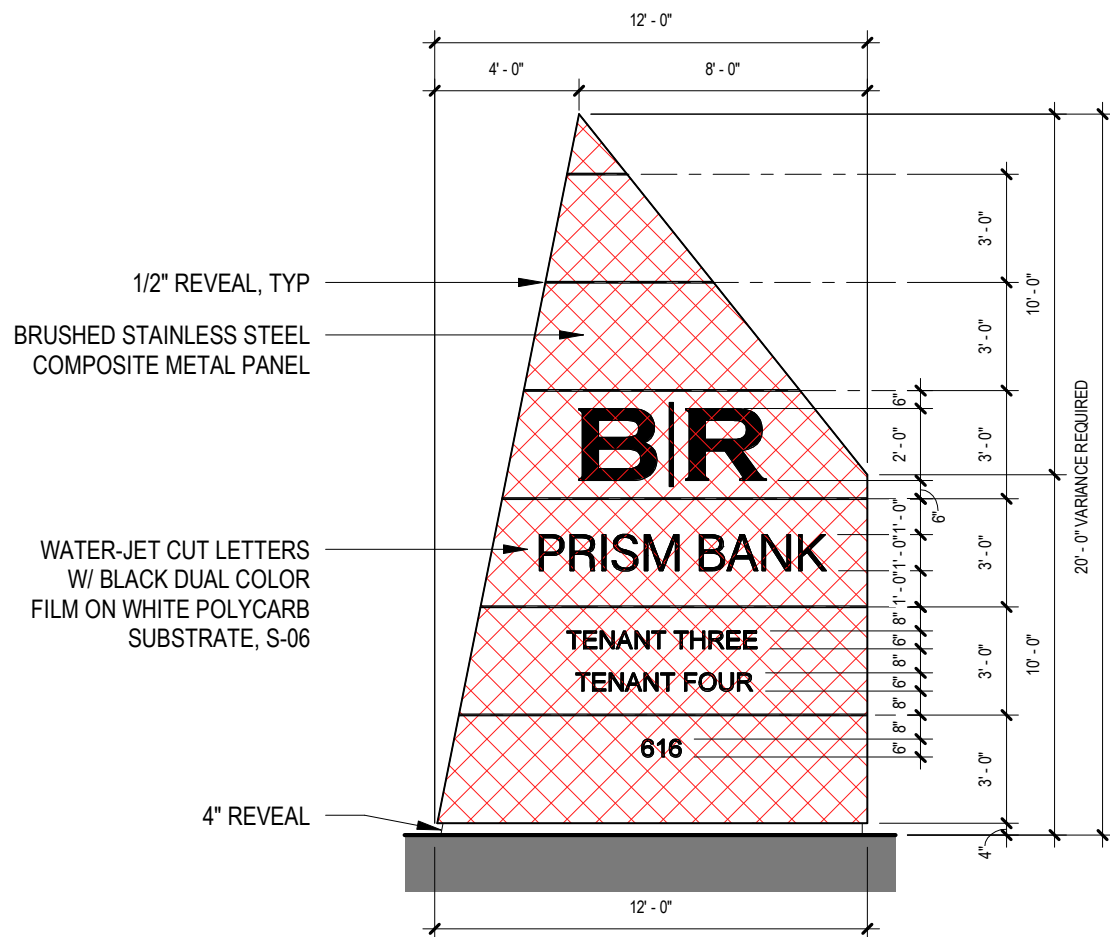


EXTERIOR SIGNAGE LEGEND		
CODE	SF	DESCRIPTION
S-01	73	W CHANNEL LIT SIGN
S-02	73	E CHANNEL LIT SIGN
S-03	24	SW CHANNEL LIT SIGN
S-04	94	NE CHANNEL LIT SIGN
S-05	56	ENTRY MONUMENT SIGN
S-06	156	STREET MONUMENT SIGN
TOTAL SQ FT = 476		



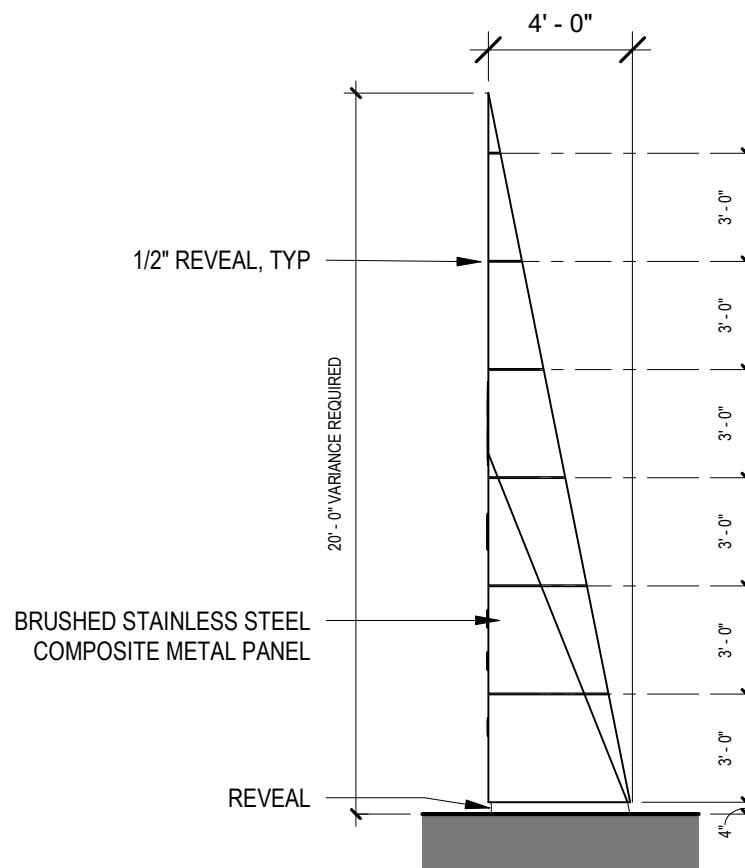
1 MONUMENT SIGN @ STREET CORNER

A1.2 SCALE: 3/16" = 1'-0"



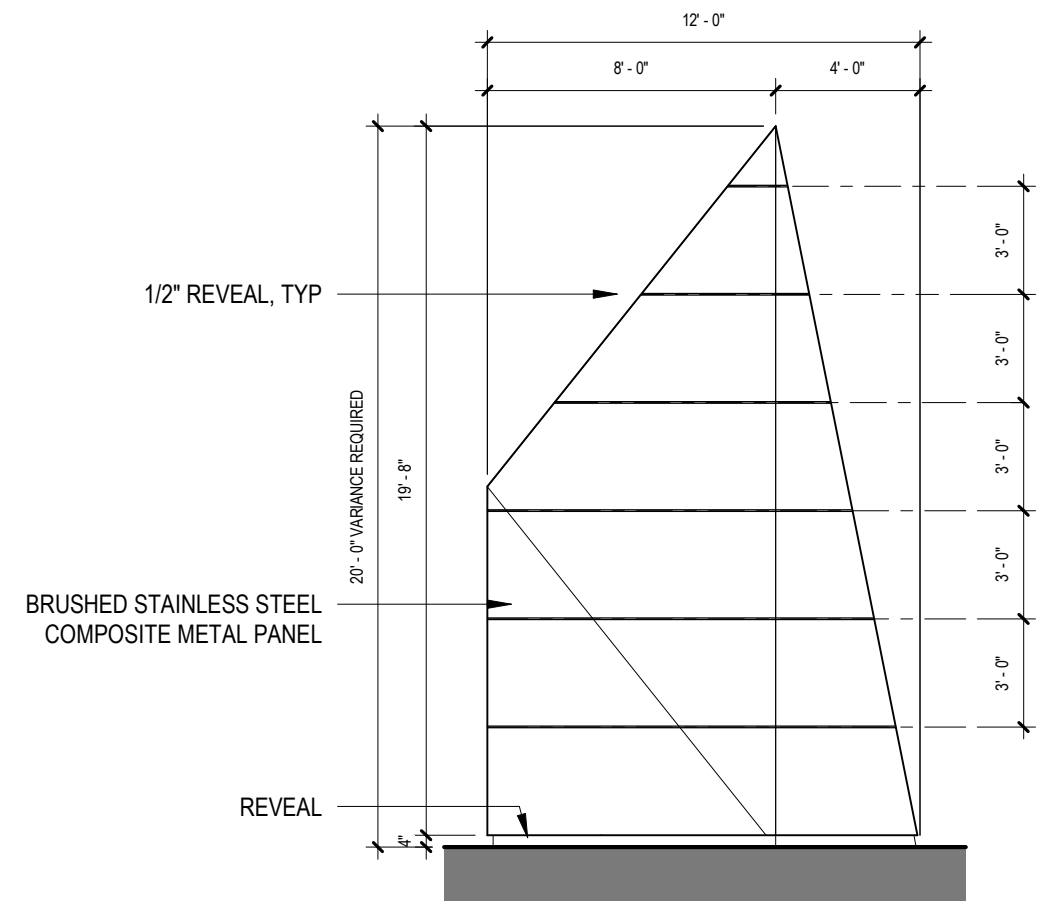
2 STREET MONUMENT SIGN ELEVATION - FRONT

A1.2 SCALE: 3/16" = 1'-0"



3 STREET MONUMENT SIGN ELEVATION - SIDE

A1.2 SCALE: 3/16" = 1'-0"



4 STREET MONUMENT SIGN ELEVATION - BACK

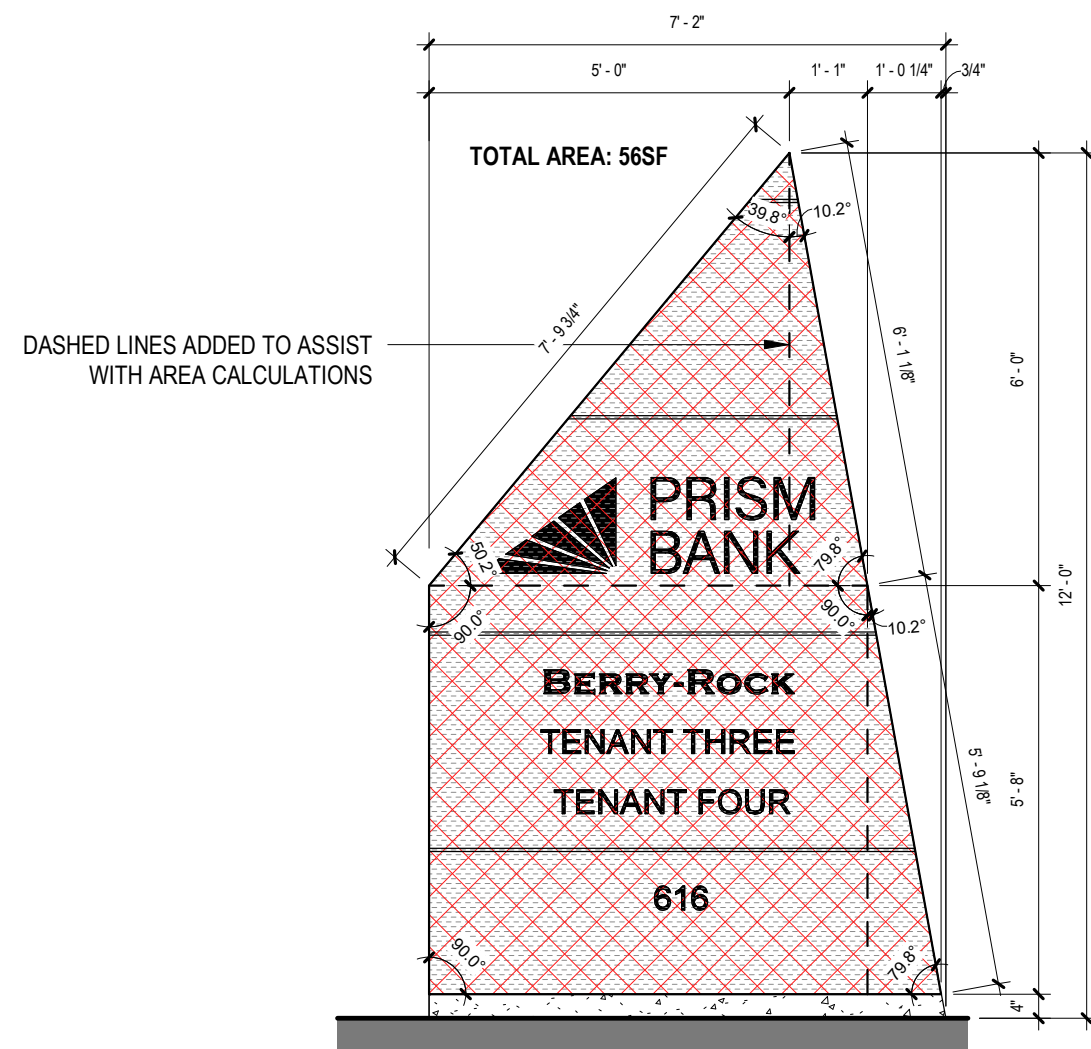
A1.2 SCALE: 3/16" = 1'-0"

5 SANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.2 MONUMENT SIGN @ STREET CORNER

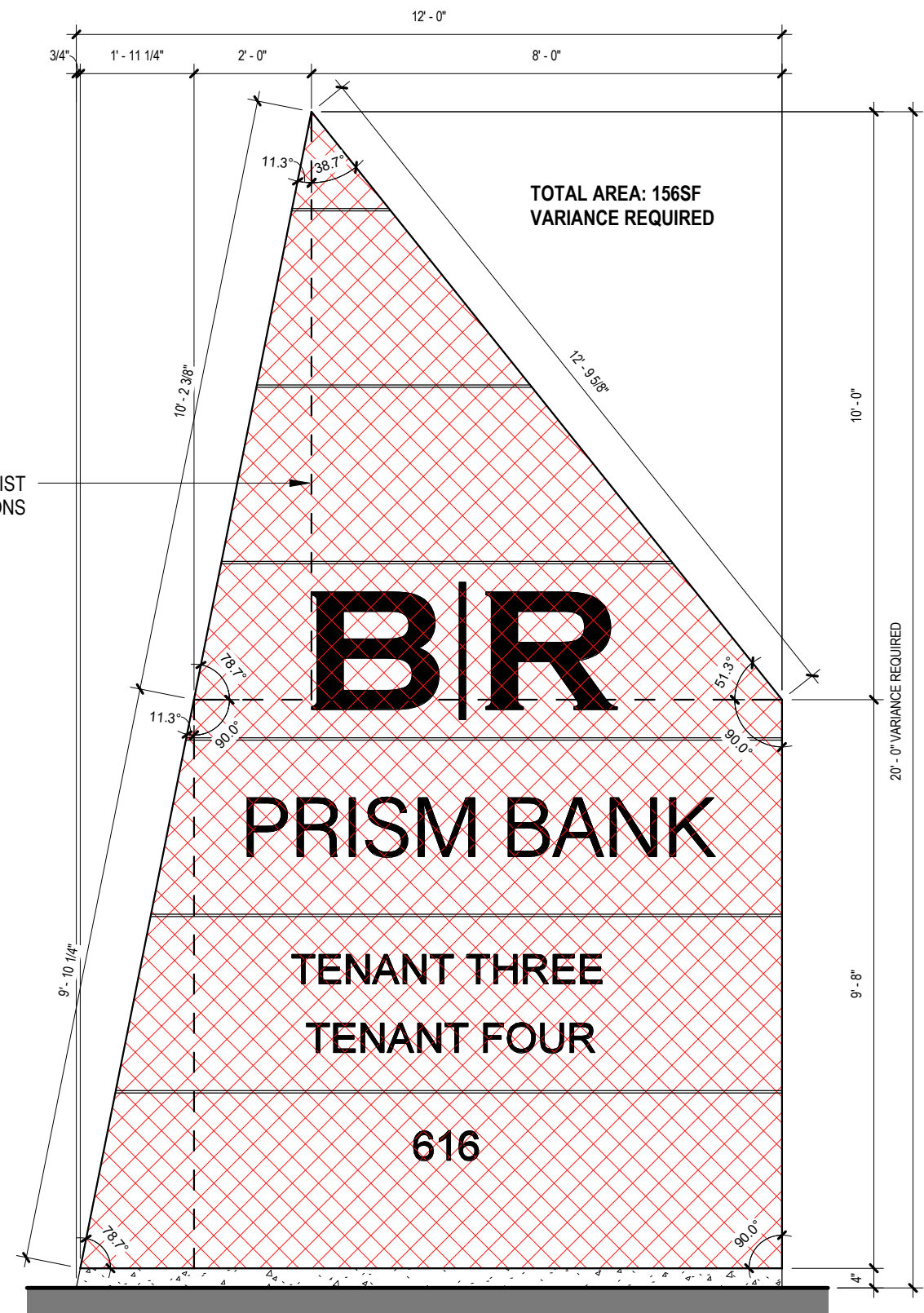
RAND ELLIOTT
 ARCHITECTS

35 Harrison Avenue
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 405.232.9554



1 ENTRY MONUMENT SIGN ELEV - FRONT
 A1.3 SCALE: 3/8" = 1'-0"

DASHED LINES ADDED TO ASSIST WITH AREA CALCULATIONS



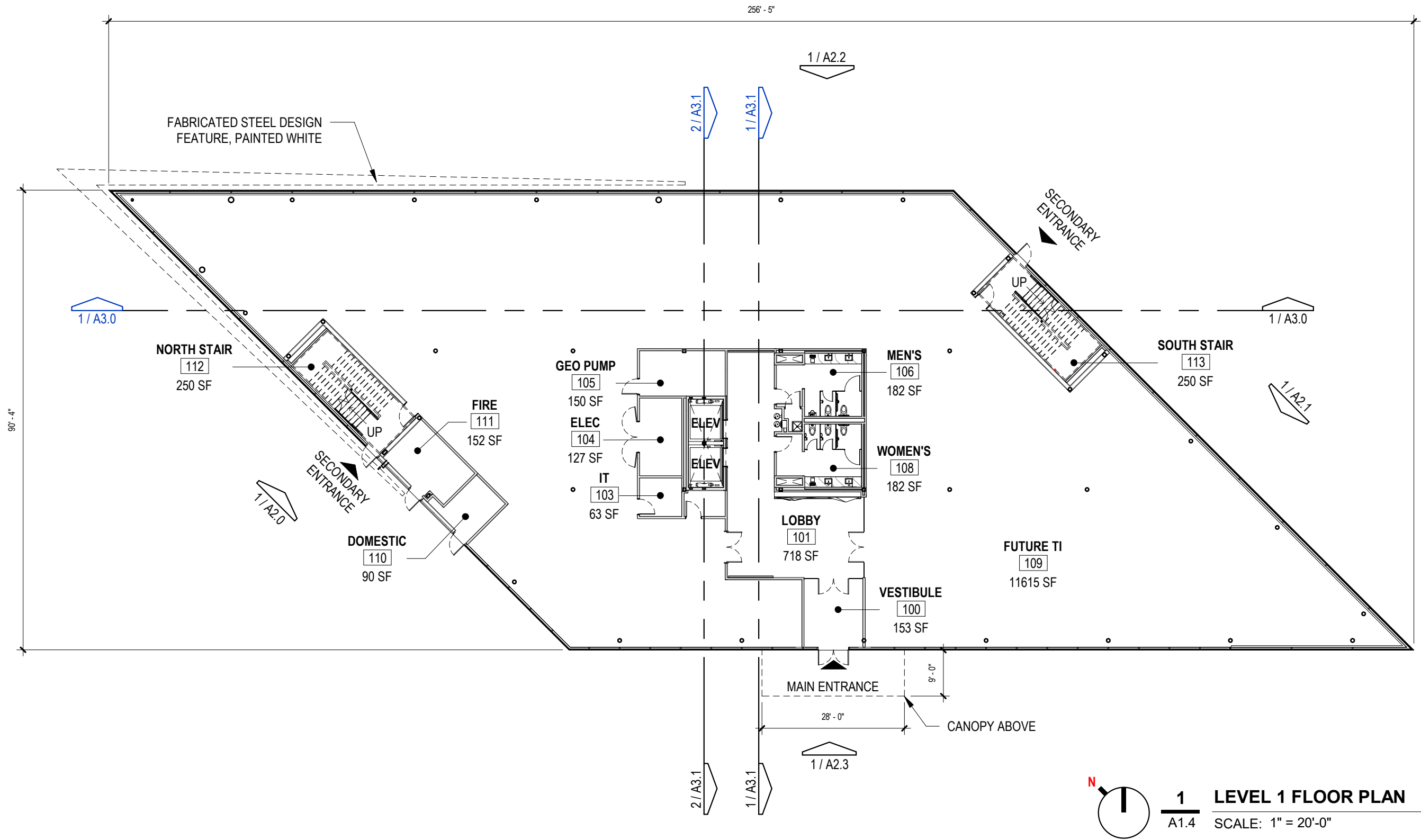
2 STREET MONUMENT SIGN ELEVATION - FRONT
 A1.3 SCALE: 3/8" = 1'-0"

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.3 MONUMENT SIGN CALCULATION SHEET

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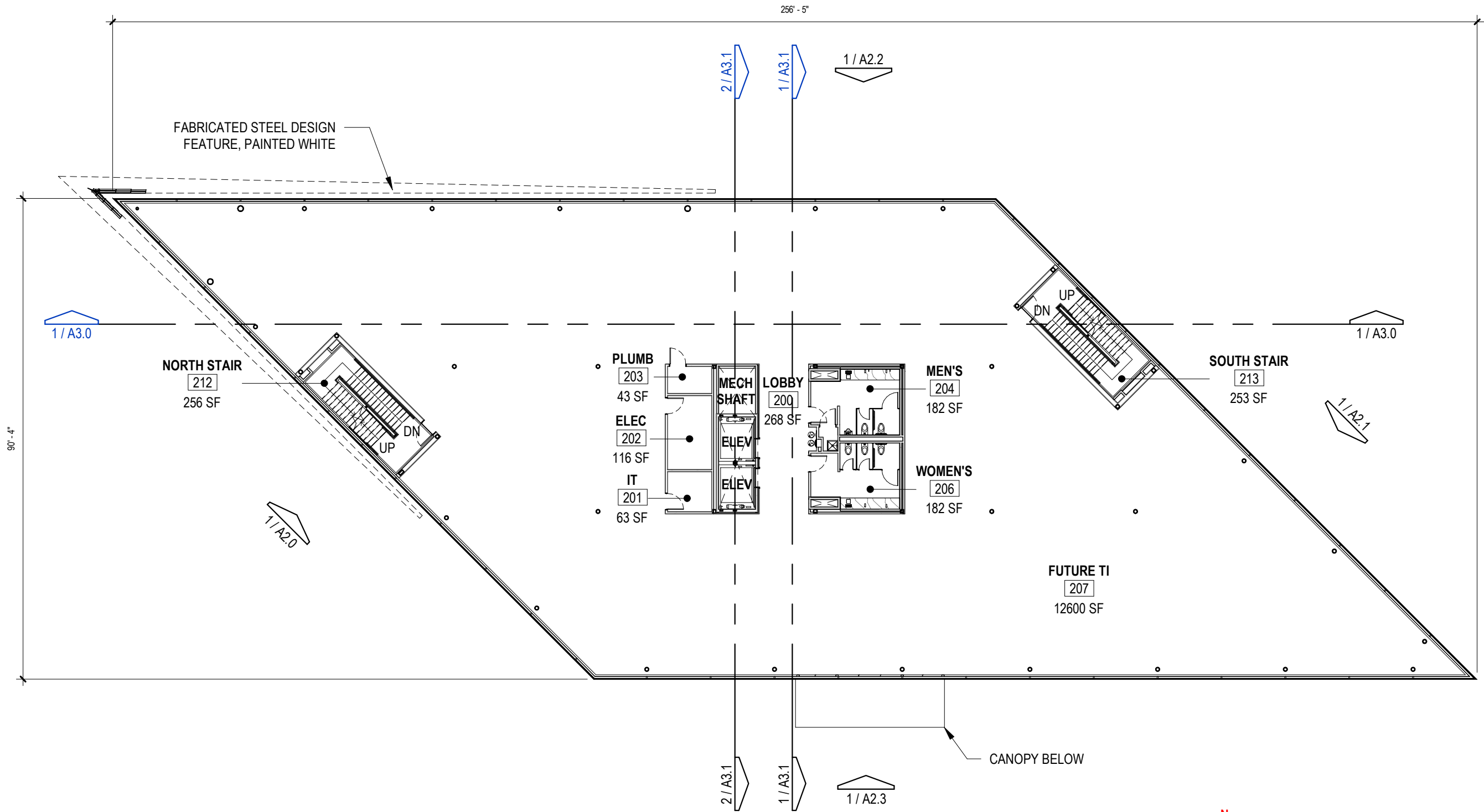


5SANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.4 1ST FLOOR PLAN

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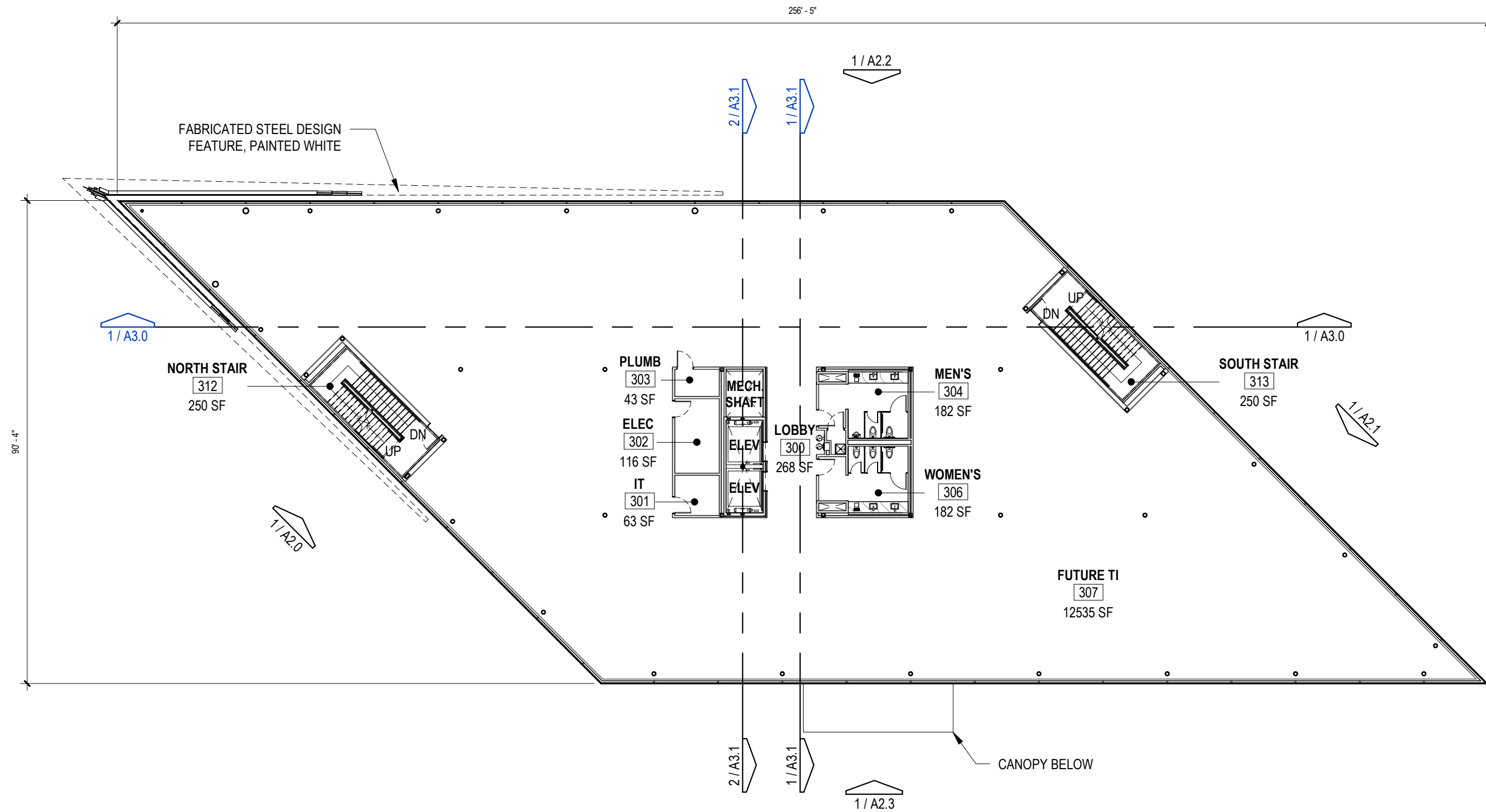

1 LEVEL 2 FLOOR PLAN
 A1.5 SCALE: 1" = 20'-0"

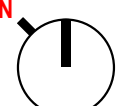
5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.5 2ND FLOOR PLAN

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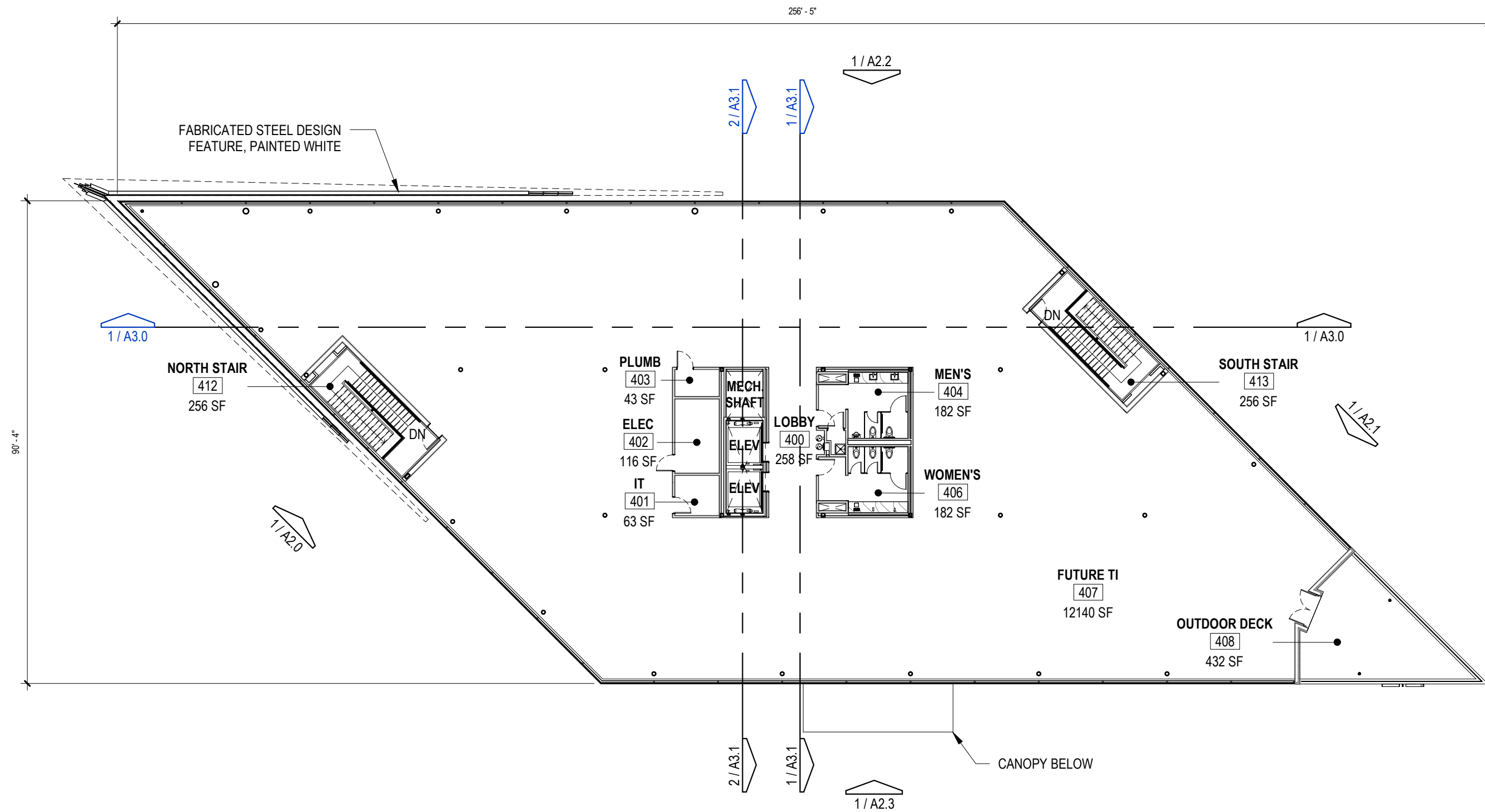

1 LEVEL 3 FLOOR PLAN
 A1.6 SCALE: 1" = 20'-0"

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.6 3RD FLOOR PLAN

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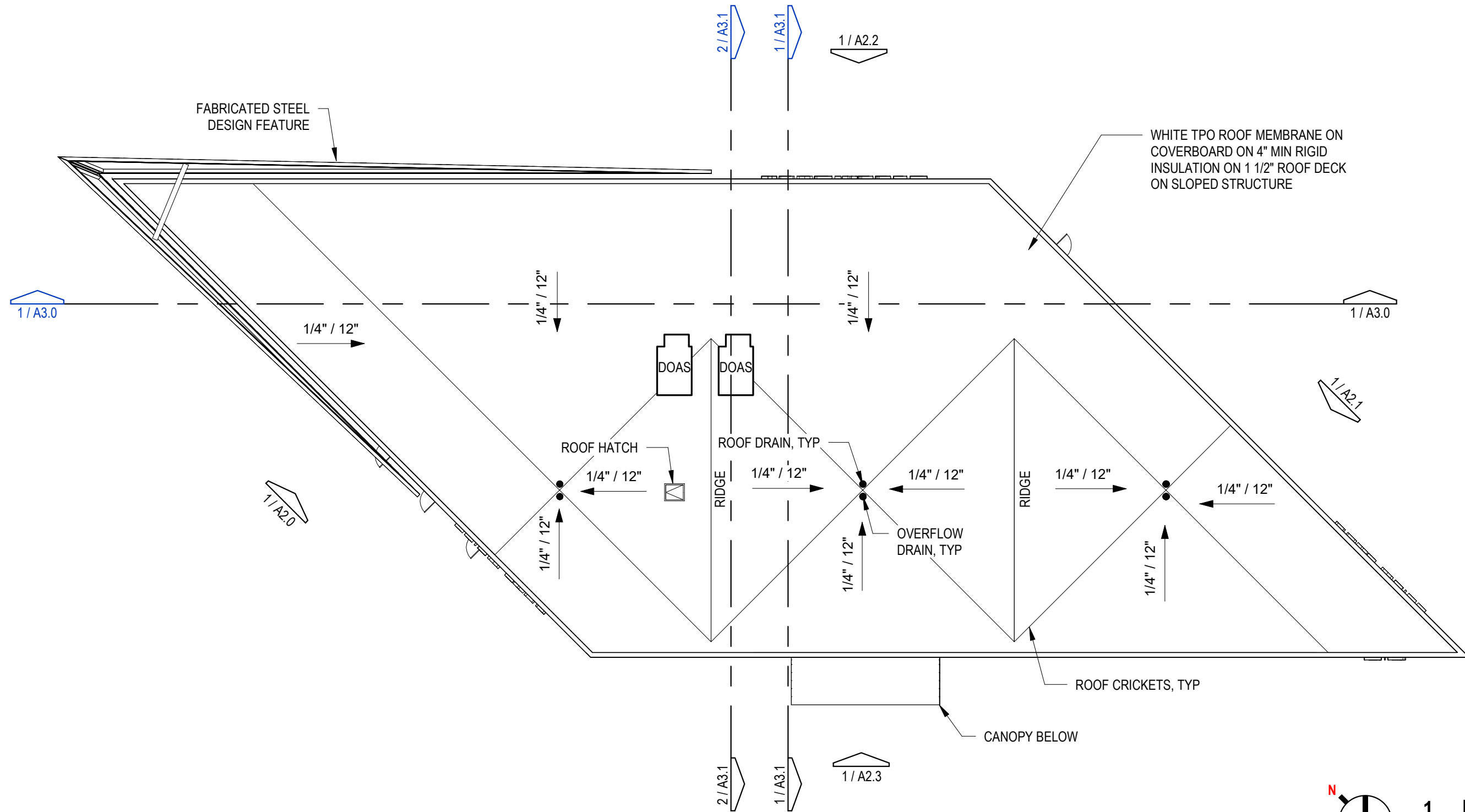

1 LEVEL 4 FLOOR PLAN
 A1.7 SCALE: 1" = 20'-0"

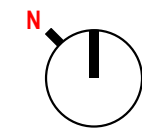
5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.7 4TH FLOOR PLAN

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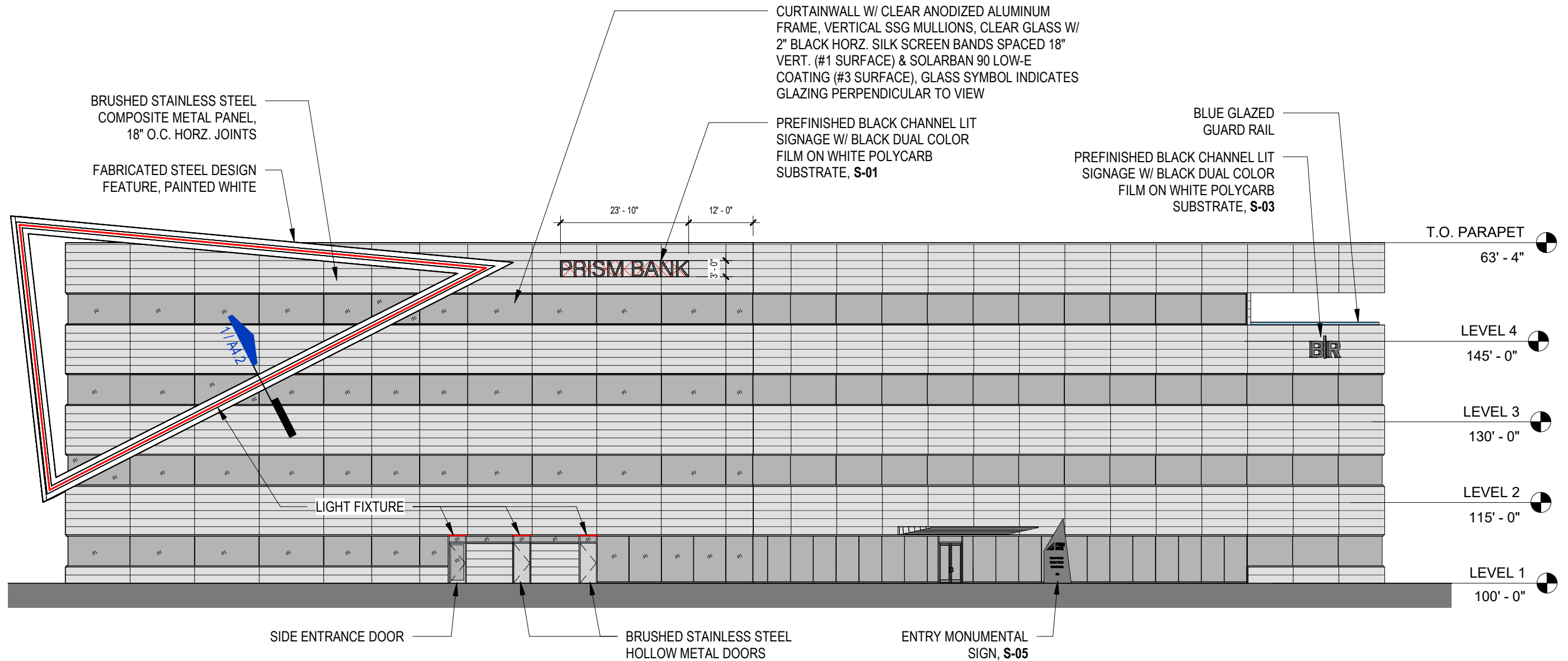

1 **ROOF PLAN**
A1.8 **SCALE: 1" = 20'-0"**

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A1.8 ROOF PLAN

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 ARCHITECTS

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1 WEST ELEVATION
 A2.0 SCALE: 1" = 20'-0"

EXTERIOR SIGNAGE LEGEND		
CODE	SF	DESCRIPTION
S-01	73	W CHANNEL LIT SIGN
S-02	73	E CHANNEL LIT SIGN
S-03	24	SW CHANNEL LIT SIGN
S-04	94	NE CHANNEL LIT SIGN
S-05	56	ENTRY MONUMENT SIGN
S-06	156	STREET MONUMENT SIGN
TOTAL SQ FT = 476		

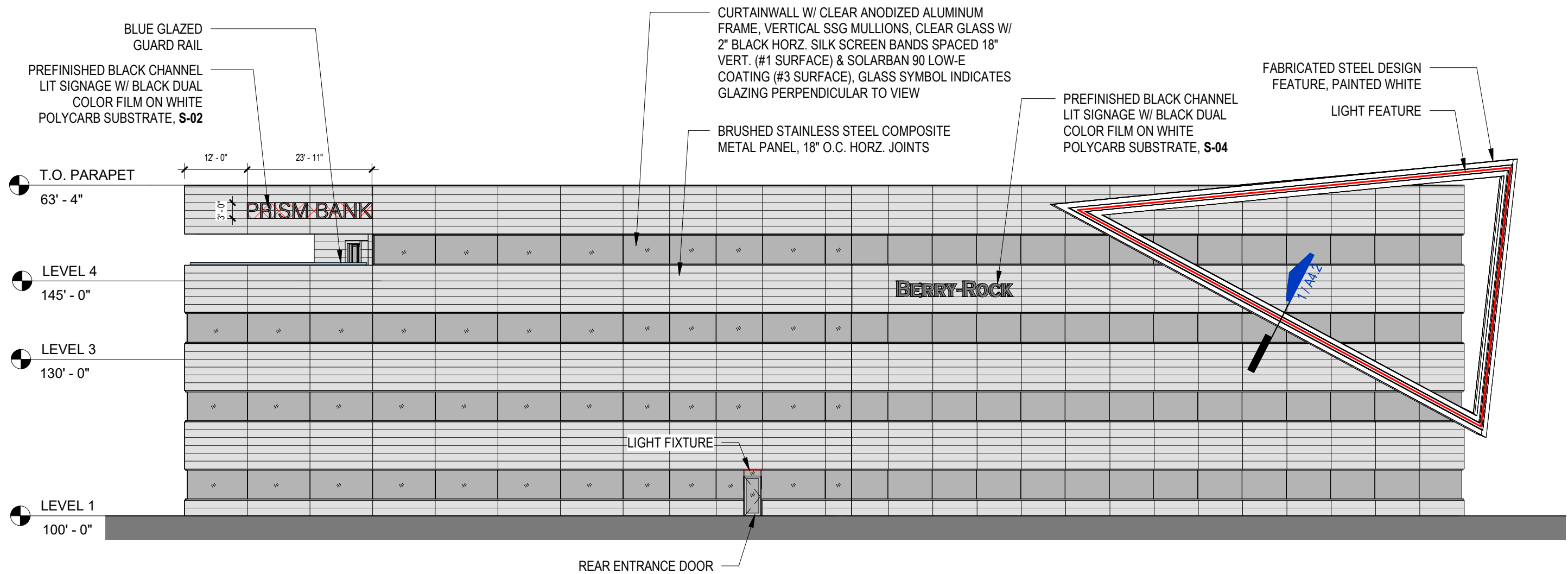
SIGNAGE AREA CALCULATION

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A2.0 BUILDING ELEVATION

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1 EAST ELEVATION
 A2.1 SCALE: 1" = 20'-0"

EXTERIOR SIGNAGE LEGEND		
CODE	SF	DESCRIPTION
S-01	73	W CHANNEL LIT SIGN
S-02	73	E CHANNEL LIT SIGN
S-03	24	SW CHANNEL LIT SIGN
S-04	94	NE CHANNEL LIT SIGN
S-05	56	ENTRY MONUMENT SIGN
S-06	156	STREET MONUMENT SIGN
TOTAL SQ FT = 476		

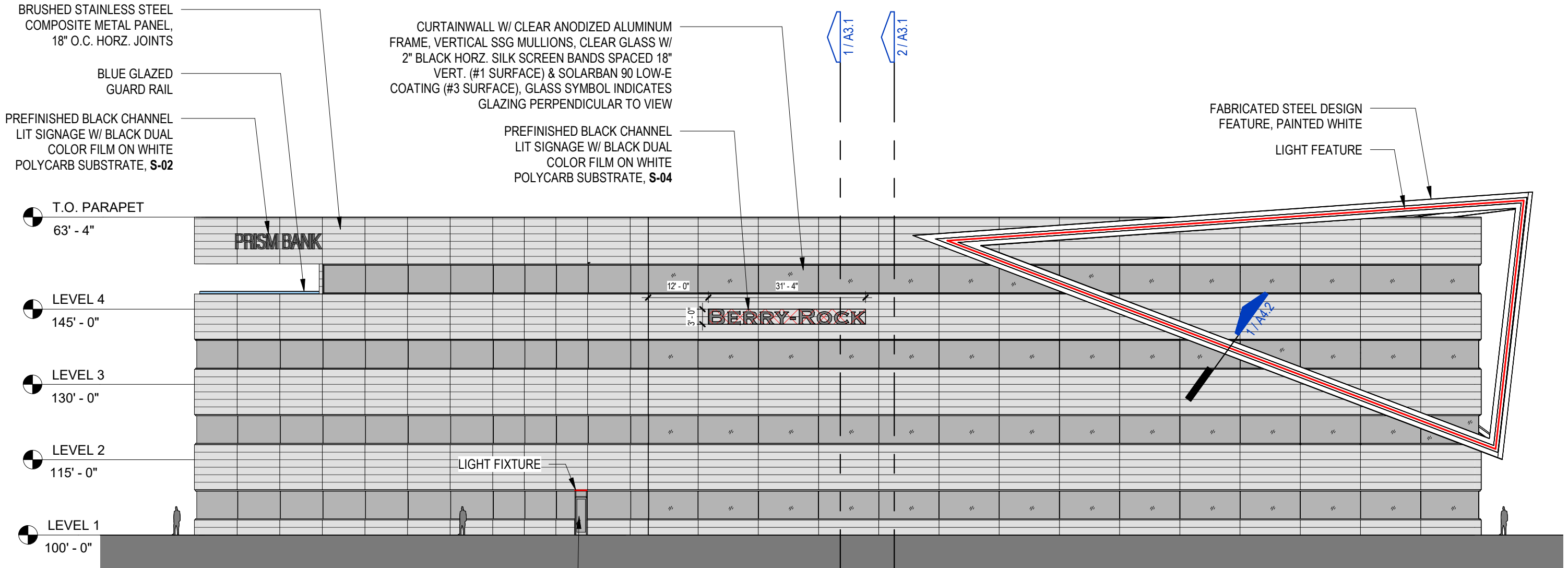
SIGNAGE AREA CALCULATION 

5SANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A2.1 BUILDING ELEVATION

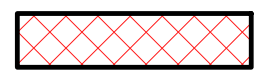
RAND ELLIOTT
 ARCHITECTS

35 Harrison Avenue
 Oklahoma City, OK 73104
 405.232.9554



1 **NORTHEAST ELEVATION**
 A2.2 SCALE: 1" = 20'-0"

EXTERIOR SIGNAGE LEGEND		
CODE	SF	DESCRIPTION
S-01	73	W CHANNEL LIT SIGN
S-02	73	E CHANNEL LIT SIGN
S-03	24	SW CHANNEL LIT SIGN
S-04	94	NE CHANNEL LIT SIGN
S-05	56	ENTRY MONUMENT SIGN
S-06	156	STREET MONUMENT SIGN
TOTAL SQ FT = 476		

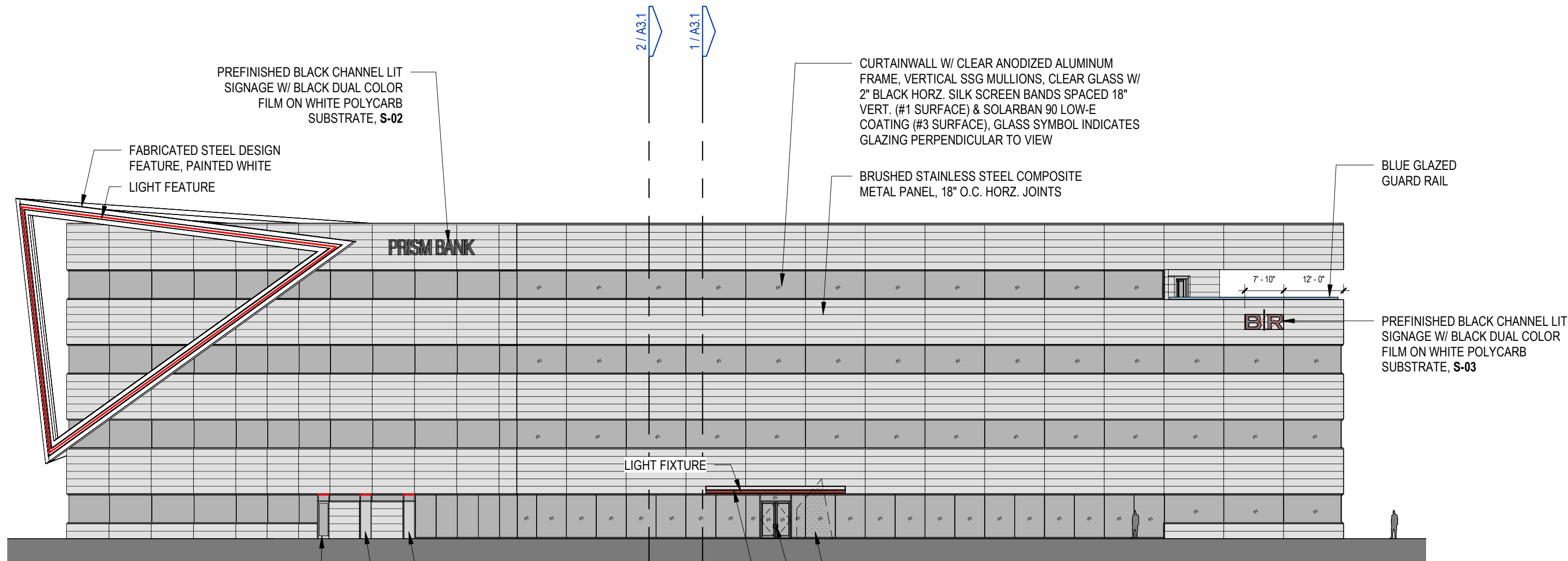
SIGNAGE AREA CALCULATION 

5 SANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A2.2 BUILDING ELEVATION

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PREFINISHED BLACK CHANNEL LIT SIGNAGE W/ BLACK DUAL COLOR FILM ON WHITE POLYCARB SUBSTRATE, **S-02**

FABRICATED STEEL DESIGN FEATURE, PAINTED WHITE
LIGHT FEATURE

CURTAINWALL W/ CLEAR ANODIZED ALUMINUM FRAME, VERTICAL SSG MULLIONS, CLEAR GLASS W/ 2" BLACK HORZ. SILK SCREEN BANDS SPACED 18" VERT. (#1 SURFACE) & SOLARBAN 90 LOW-E COATING (#3 SURFACE), GLASS SYMBOL INDICATES GLAZING PERPENDICULAR TO VIEW

BRUSHED STAINLESS STEEL COMPOSITE METAL PANEL, 18" O.C. HORZ. JOINTS

BLUE GLAZED GUARD RAIL

PREFINISHED BLACK CHANNEL LIT SIGNAGE W/ BLACK DUAL COLOR FILM ON WHITE POLYCARB SUBSTRATE, **S-03**

LIGHT FIXTURE

SIDE ENTRANCE DOOR

BRUSHED STAINLESS STEEL HOLLOW METAL DOORS

ENTRY MONUMENTAL SIGN, HIDDEN FOR CLARITY, **S-05**

MAIN ENTRANCE DOORS

BRUSHED STAINLESS STEEL COMPOSITE METAL PANEL CANOPY

1 **SOUTHWEST ELEVATION**

A2.3 SCALE: 1" = 20'-0"

EXTERIOR SIGNAGE LEGEND		
CODE	SF	DESCRIPTION
S-01	73	W CHANNEL LIT SIGN
S-02	73	E CHANNEL LIT SIGN
S-03	24	SW CHANNEL LIT SIGN
S-04	94	NE CHANNEL LIT SIGN
S-05	56	ENTRY MONUMENT SIGN
S-06	156	STREET MONUMENT SIGN
TOTAL SQ FT = 476		

SIGNAGE AREA CALCULATION



5SANDWAL OFFICE BUILDING

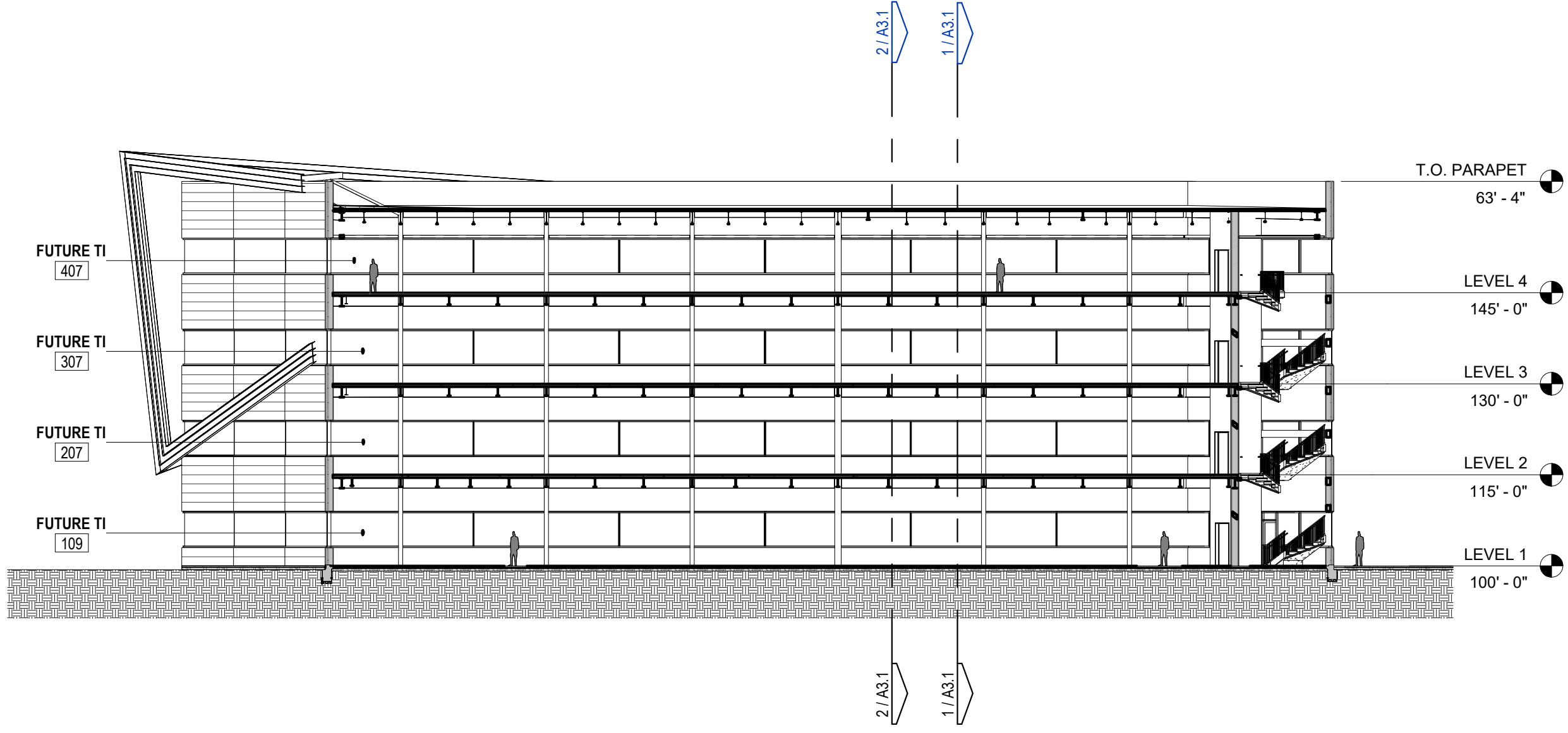
DATE: 11.19.2024

ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104

SHEET: A2.3 BUILDING ELEVATION

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ARCHITECTS

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405.232.9554



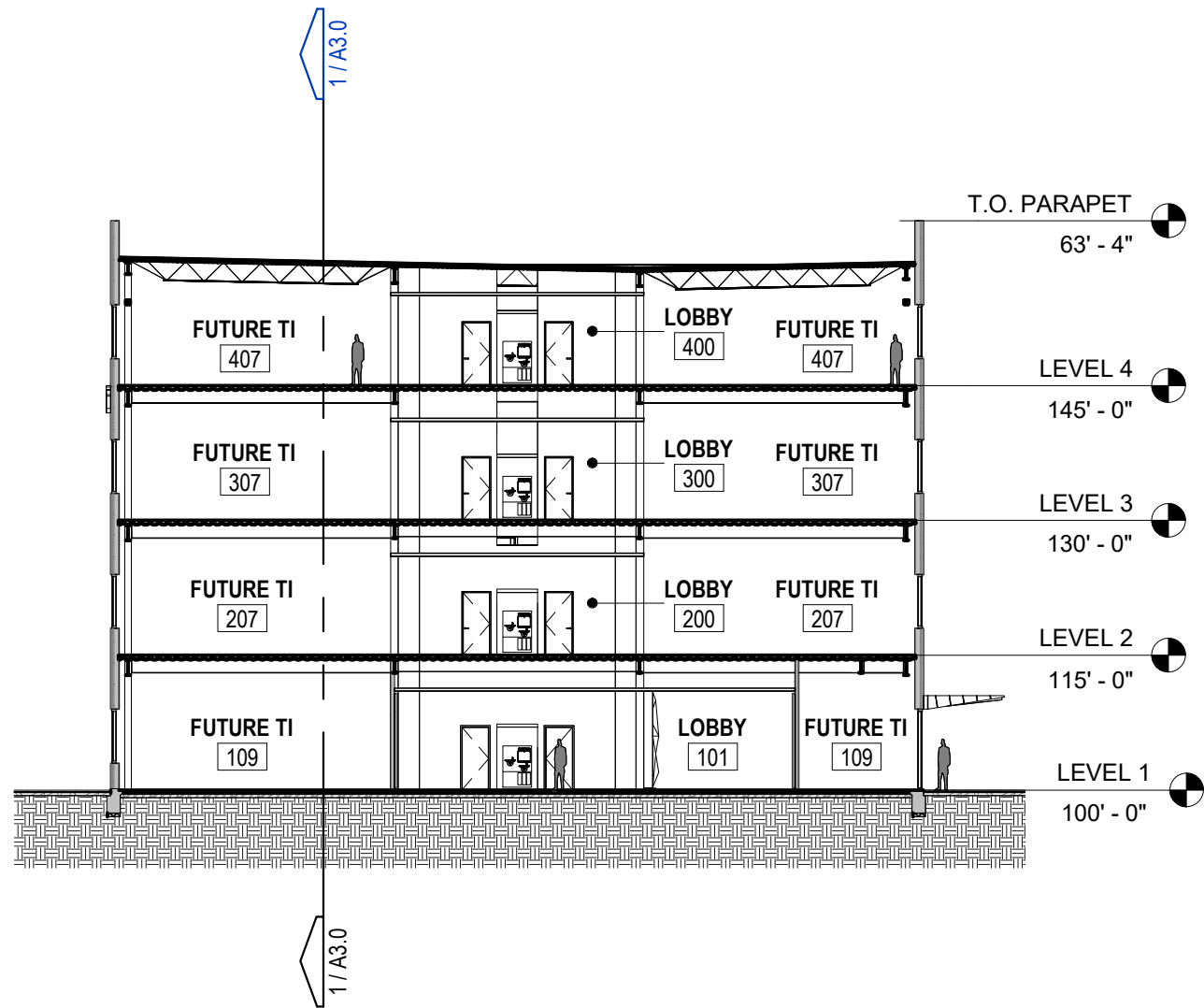
1 BUILDING SECTION
 A3.0 SCALE: 1" = 20'-0"

5ANDWAL OFFICE BUILDING

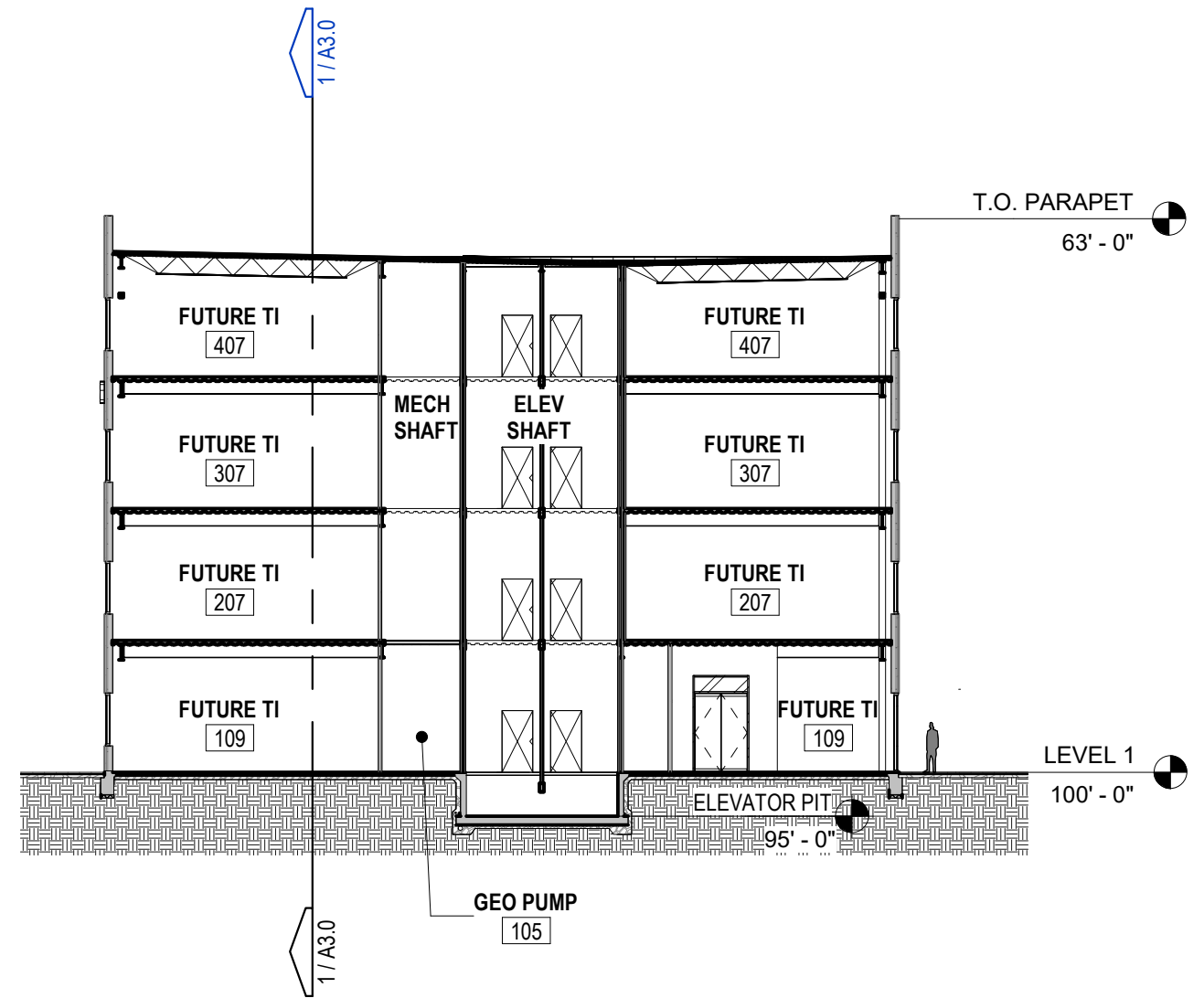
DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A3.0 BUILDING SECTION

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1 BUILDING SECTION
 A3.1 SCALE: 1" = 20'-0"



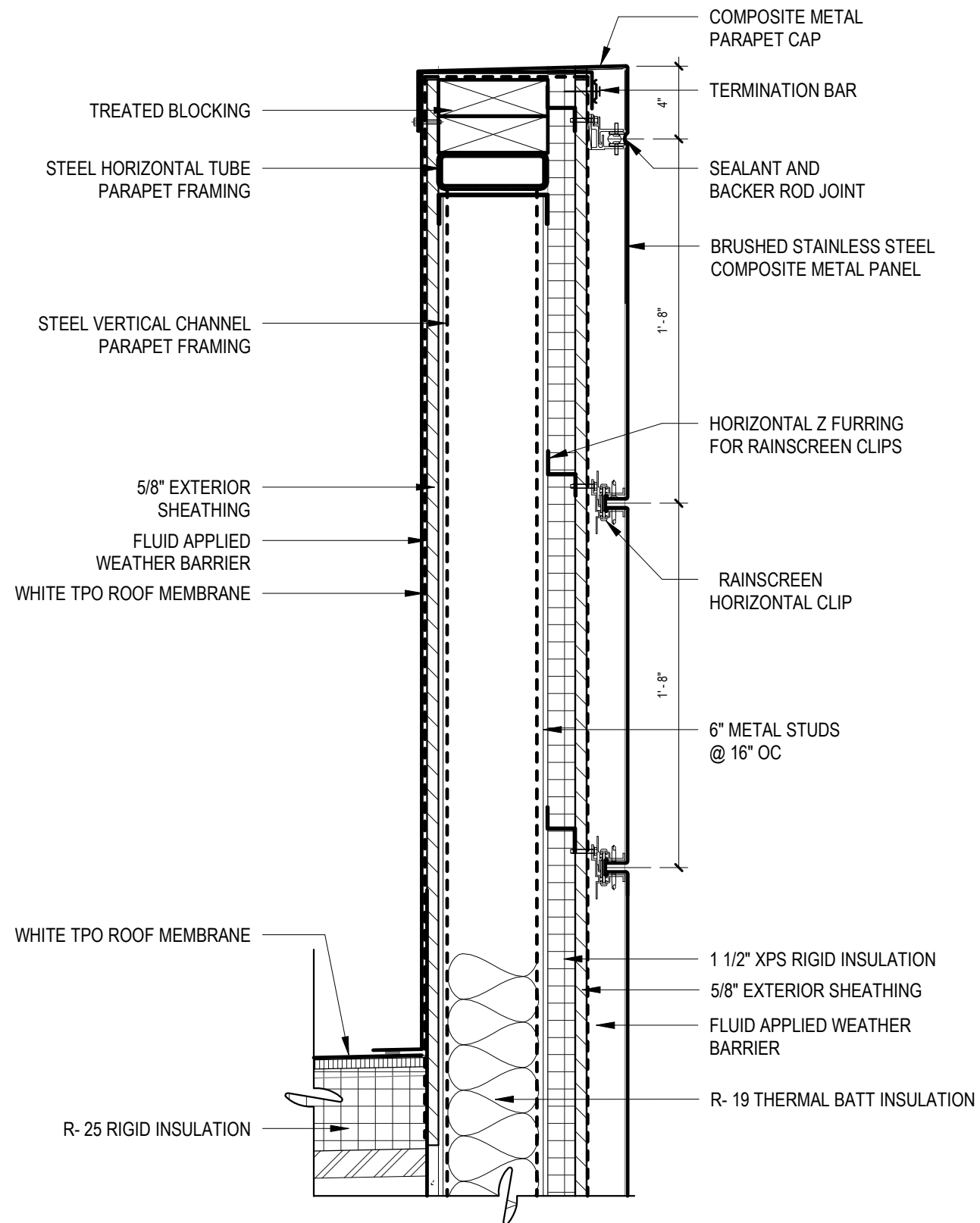
2 BUILDING SECTION
 A3.1 SCALE: 1" = 20'-0"

5ANDWAL OFFICE BUILDING

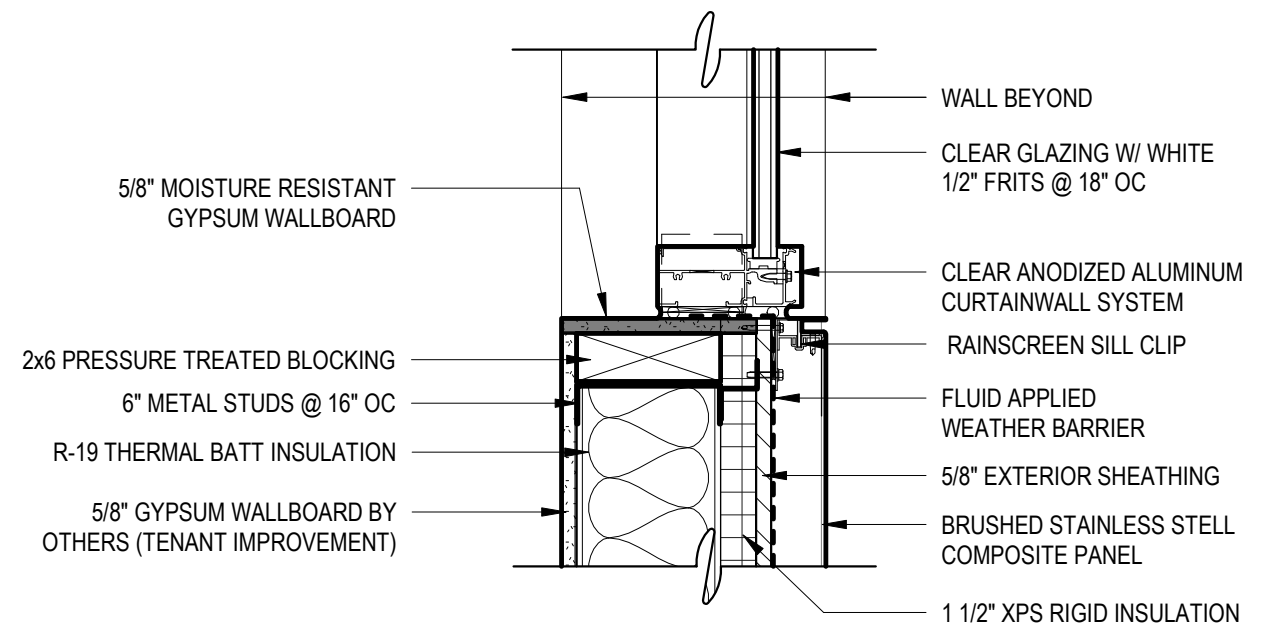
DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A3.1 BUILDING SECTIONS

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1 VERTICAL DETAIL - PARAPET CAP
 A4.0 SCALE: 1 1/2" = 1'-0"



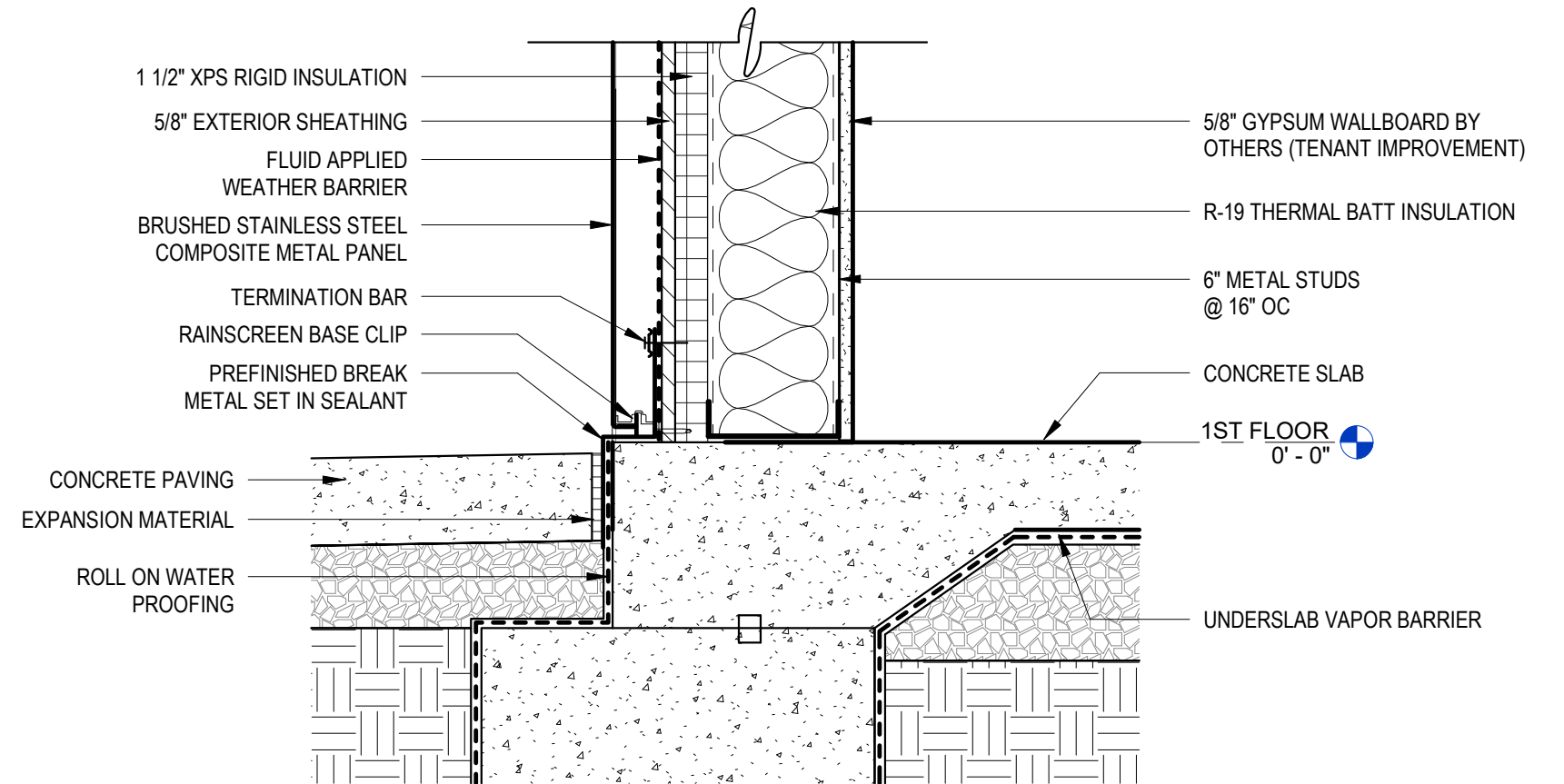
2 VERTICAL DETAIL - WINDOW WALL SILL
 A4.0 SCALE: 1 1/2" = 1'-0"

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A4.0 VERTICAL DETAILS

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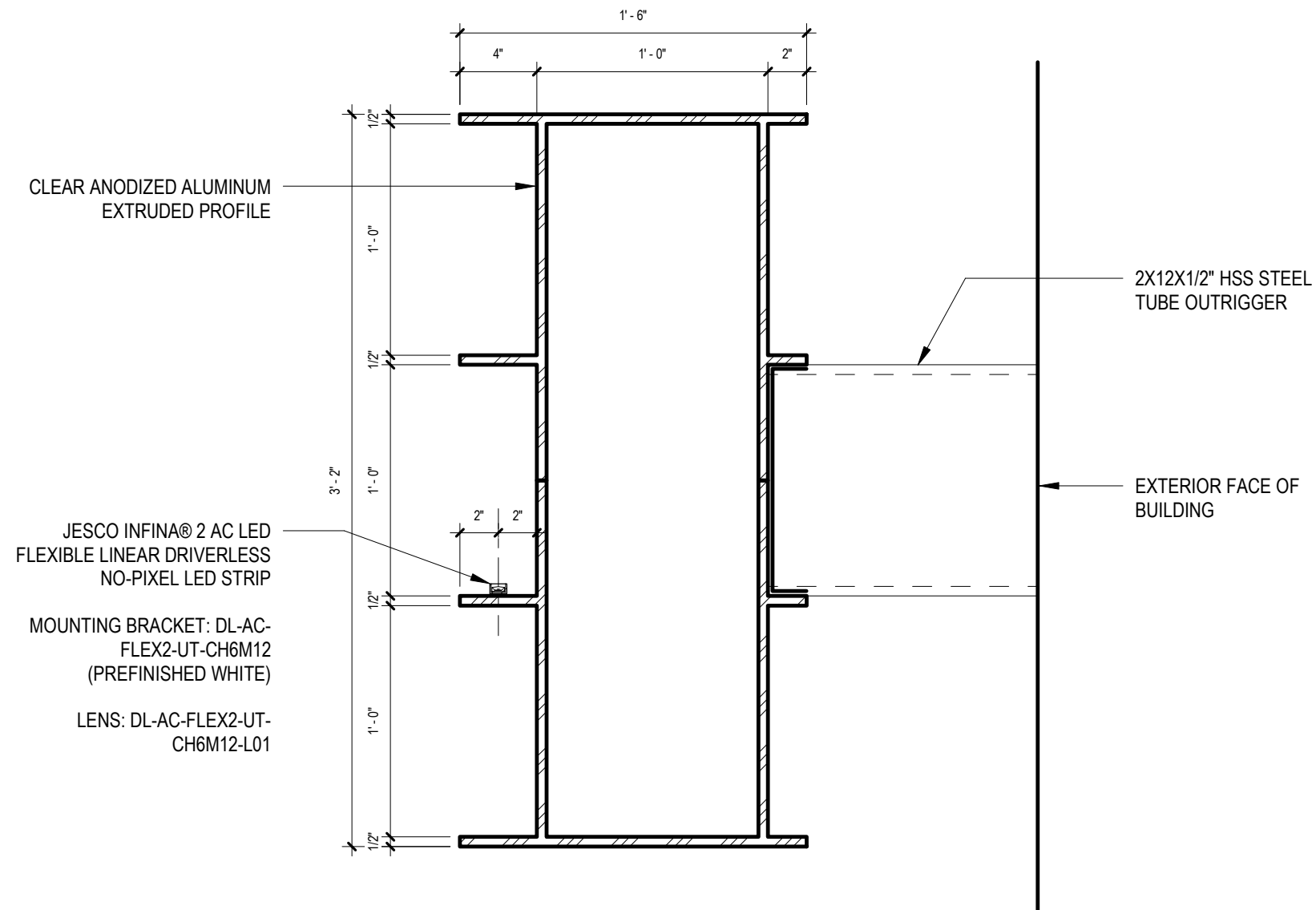
2 VERTICAL DETAIL - TYPICAL BASE CONDITION
 A4.1 SCALE: 1 1/2" = 1'-0"

5ANDWAL OFFICE BUILDING

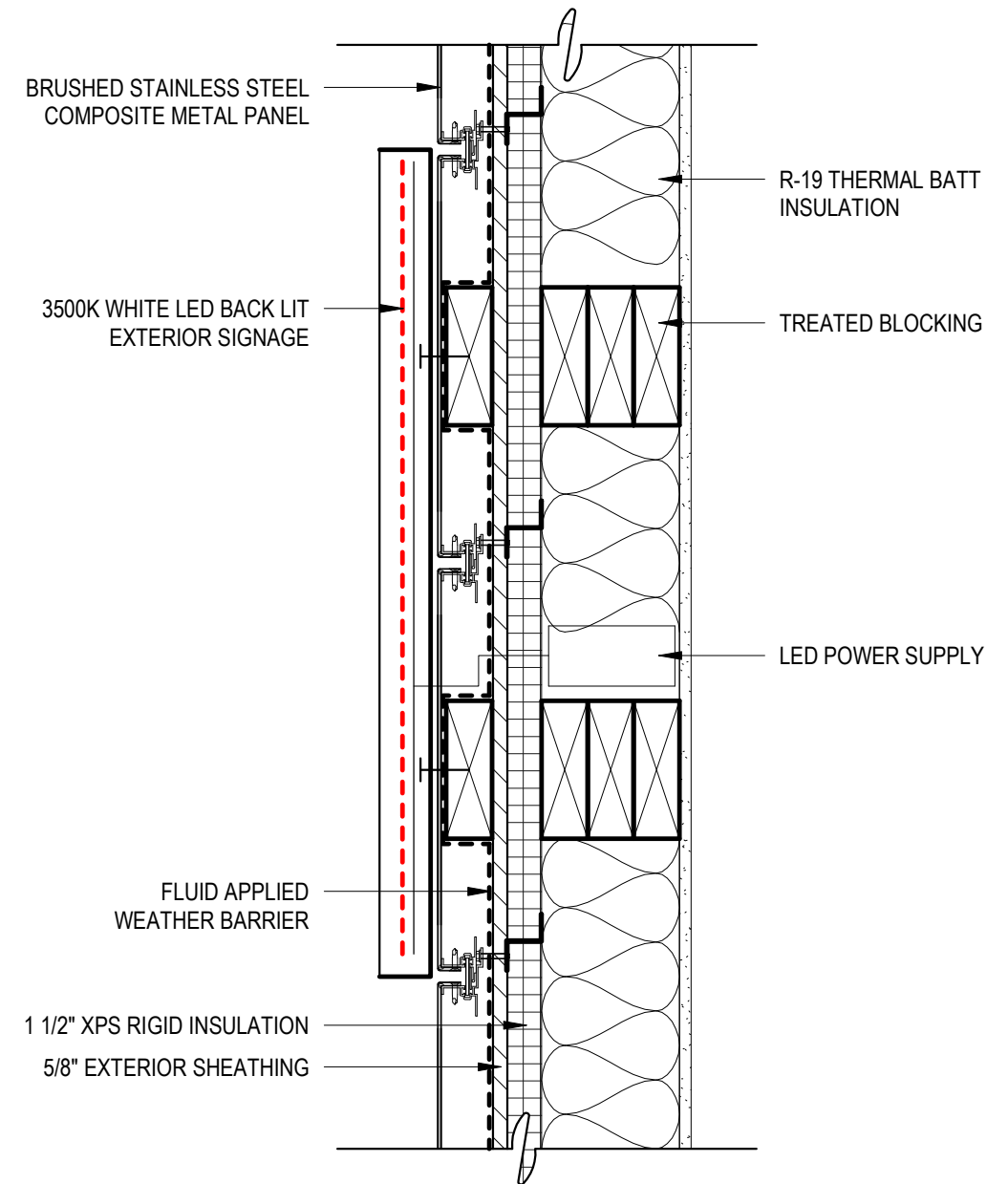
DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A4.1 VERTICAL DETAILS

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1 PRELIMINARY PORTAL FRAME PROFILE DDRC
 A4.2 SCALE: 1 1/2" = 1'-0"



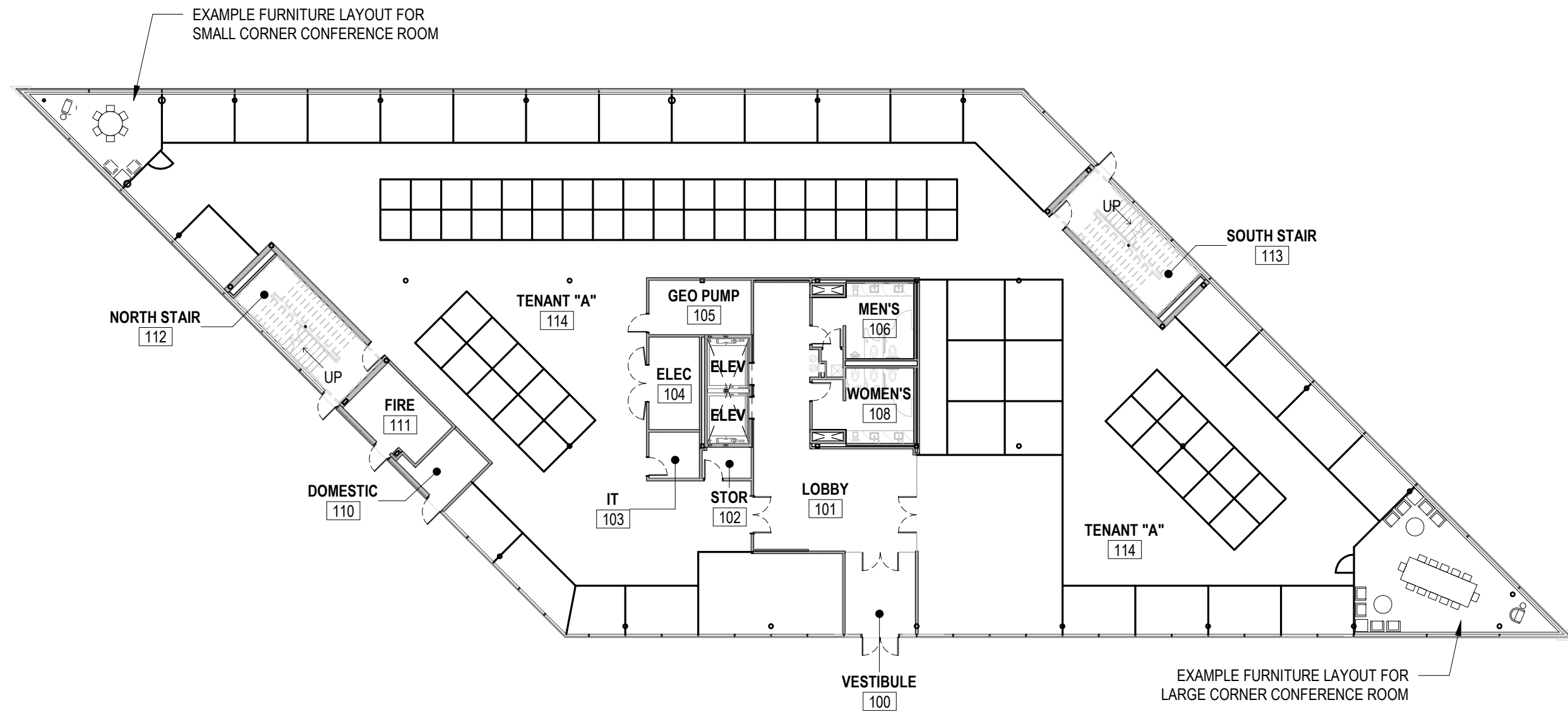
2 VERTICAL DETAIL - SIGNAGE CONNECTION
 A4.2 SCALE: 1 1/2" = 1'-0"

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A4.2 VERTICAL DETAIL

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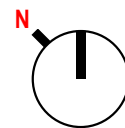
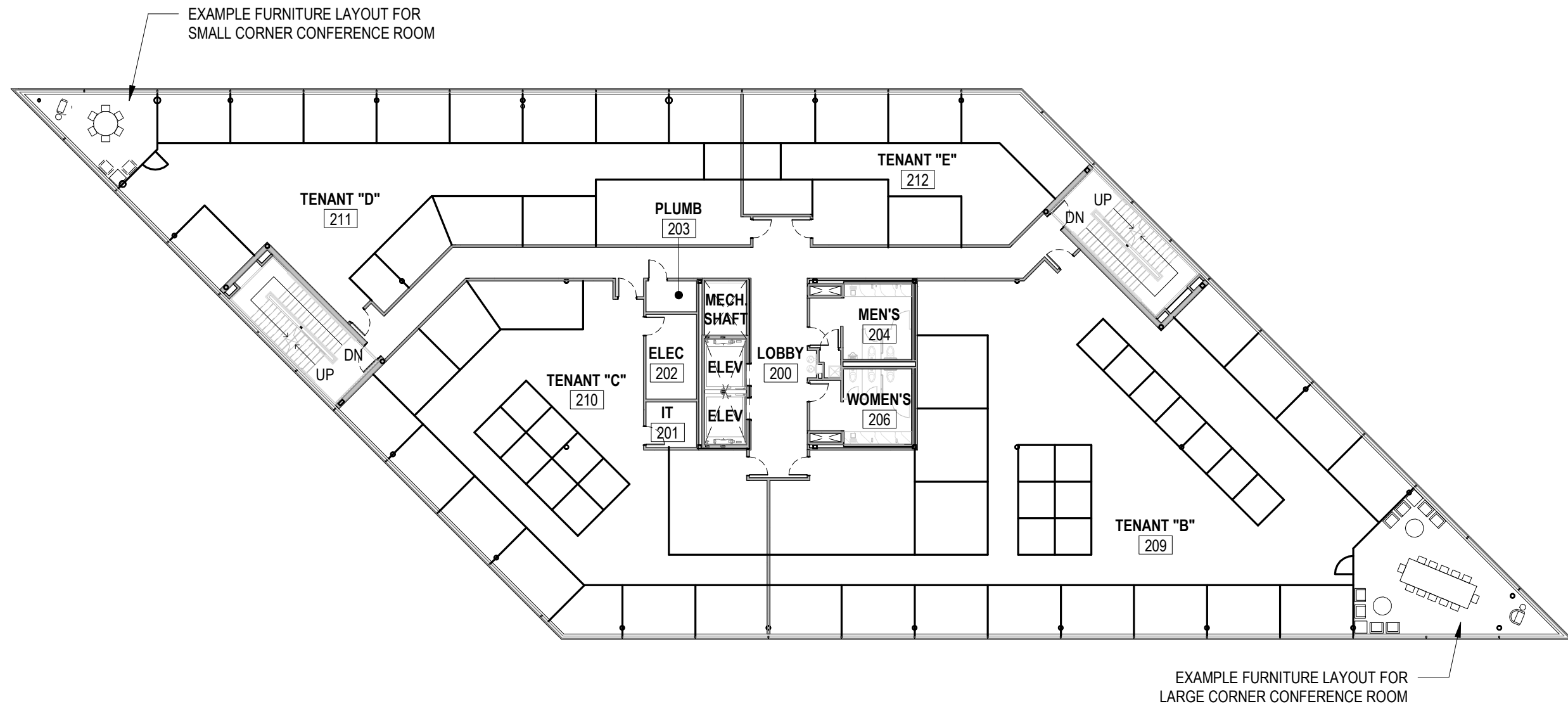

1 PROPOSED TENANT PLAN - 1ST FLOOR
 A4.3 SCALE: 1" = 20'-0"

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A4.3 1ST FLOOR PROPOSED TENANT PLAN

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1
A4.4

PROPOSED TENANT PLAN - 2ND FLOOR

SCALE: 1" = 20'-0"

5SANDWAL OFFICE BUILDING

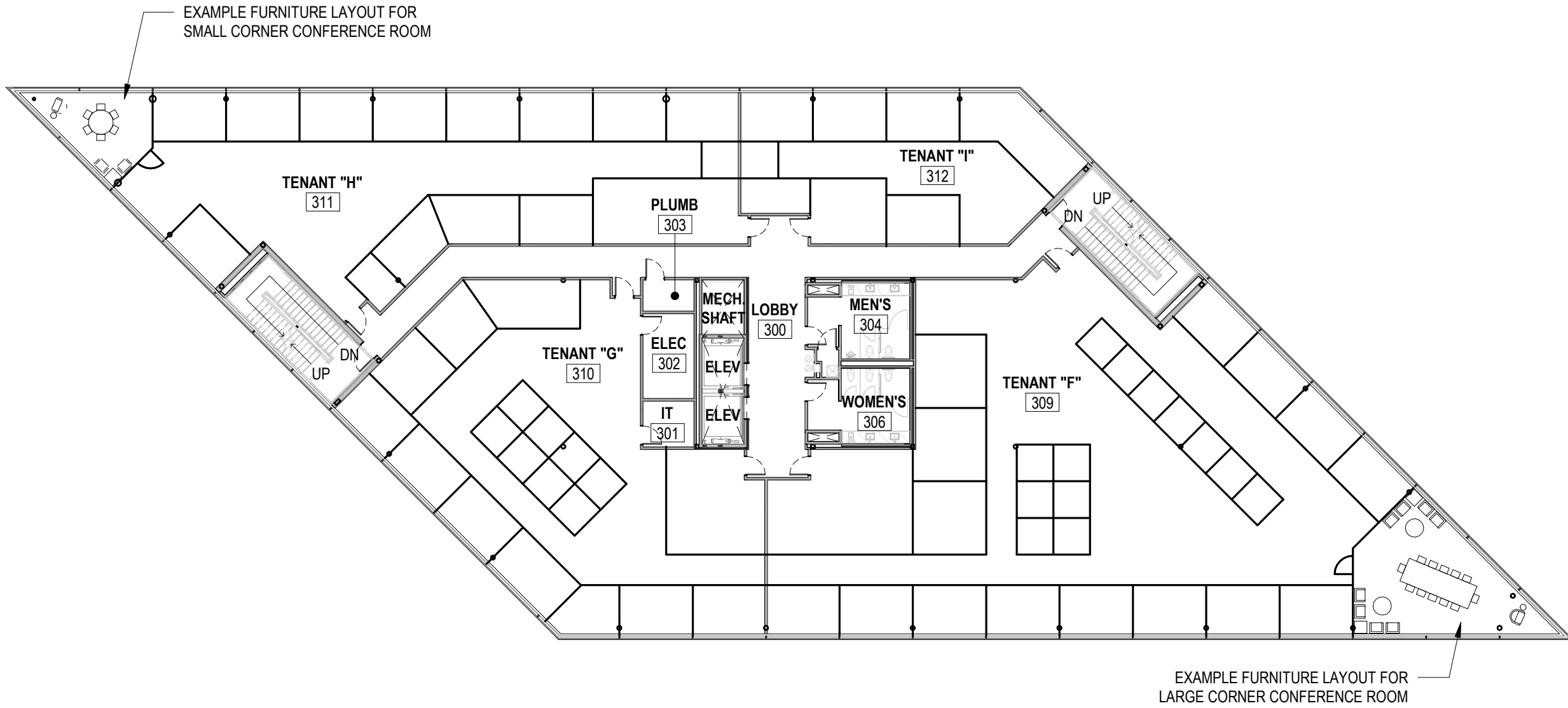
DATE: 11.19.2024

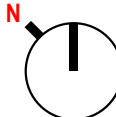
ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104

SHEET: A4.4 2ND FLOOR PROPOSED TENANT PLAN

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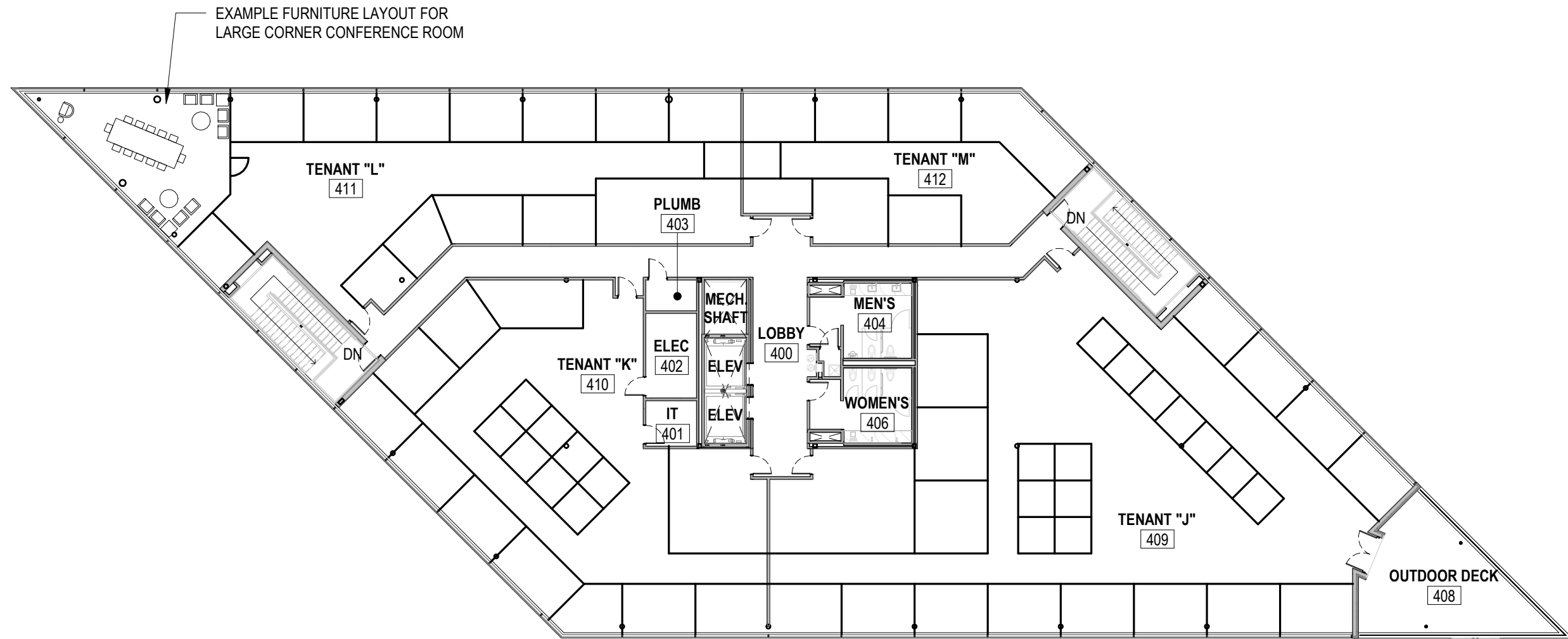

1 **PROPOSED TENANT PLAN - 3RD FLOOR**
A4.5 **SCALE: 1" = 20'-0"**

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A4.5 3RD FLOOR PROPOSED TENANT PLAN

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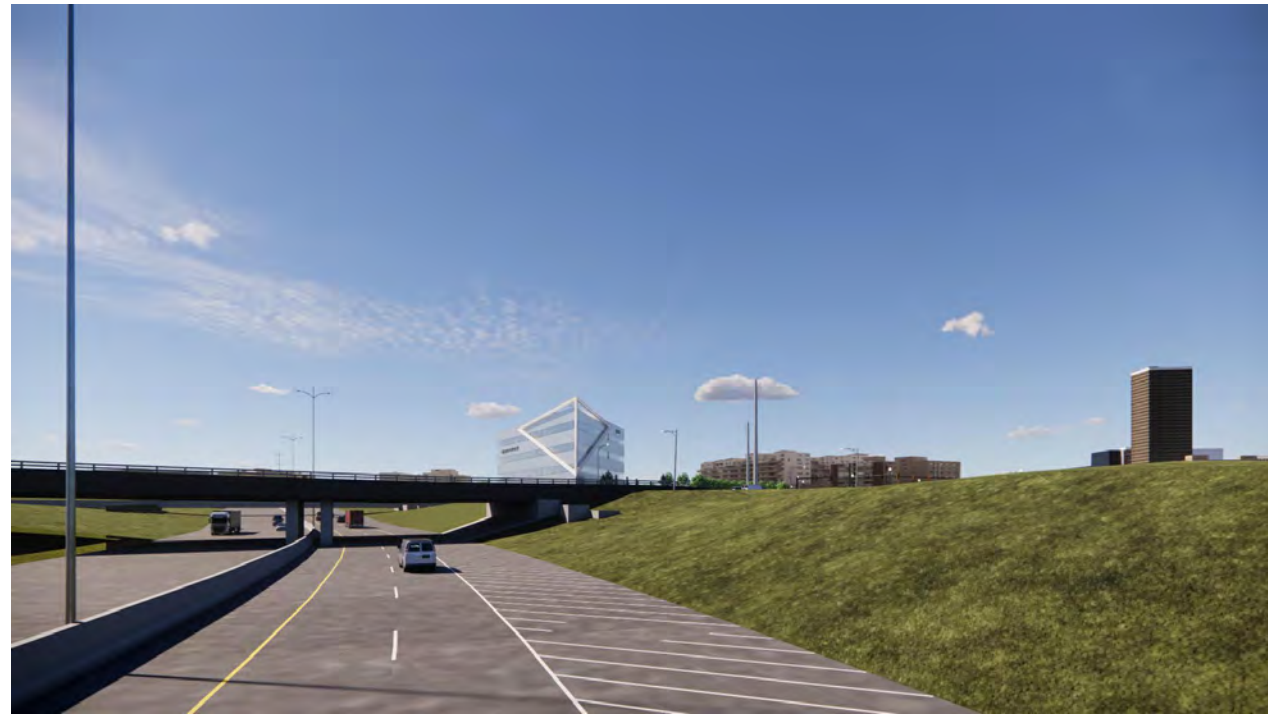

1 **PROPOSED TENANT PLAN - 4TH FLOOR**
A4.6 SCALE: 1" = 20'-0"

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A4.6 4TH FLOOR PROPOSED TENANT PLAN

RAND ELLIOTT
 ARCHITECTS

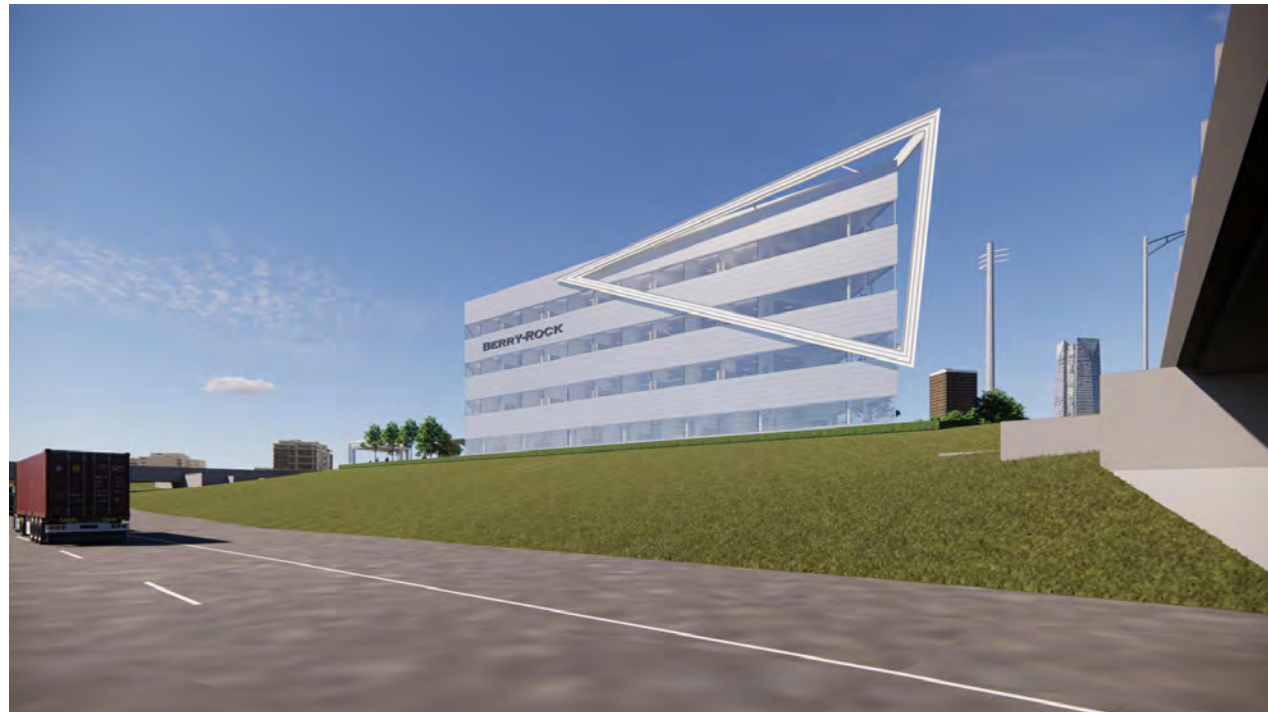
35 Harrison Avenue
 Oklahoma City, OK 73104
 405.232.9554



1. VIEW FROM HIGHWAY LOOKING SOUTH



2. VIEW FROM HARRISON AVE.



3. VIEW FROM HIGHWAY LOOKING WEST



4. VIEW FROM HARRISON AVE.

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024

ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104

SHEET: A5.0 RENDERINGS

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405.232.9554



1. VIEW FROM HARRISON LOOKING SOUTHWEST



2. VIEW FROM HARRISON LOOKING SOUTH



3. VIEW FROM 6TH & HARRISON



4. SIGNAGE VIEW AT 5TH & WALNUT STREET CORNER

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024

ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104

SHEET: A5.1 RENDERINGS

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ARCHITECTS

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1. VIEW FROM ON RAMP LOOKING WEST



2. VIEW FROM PARKING LOT ENTRY



3. VIEW OF MAIN ENTRY



4. VIEW FROM PARKING LOT LOOKING EAST

5 SANDWAL OFFICE BUILDING

DATE: 11.19.2024

ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104

SHEET: A5.2 RENDERINGS

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405.232.9554



1. VIEW LOOKING EAST FROM ON RAMP



2. VIEW FROM PARKING LOT ENTRY AT DUSK



3. SIGNAGE VIEW AT 5TH & WALNUT STREET CORNER AT DUSK



4. VIEW FROM IN 4TH FLOOR DECK

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024

ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104

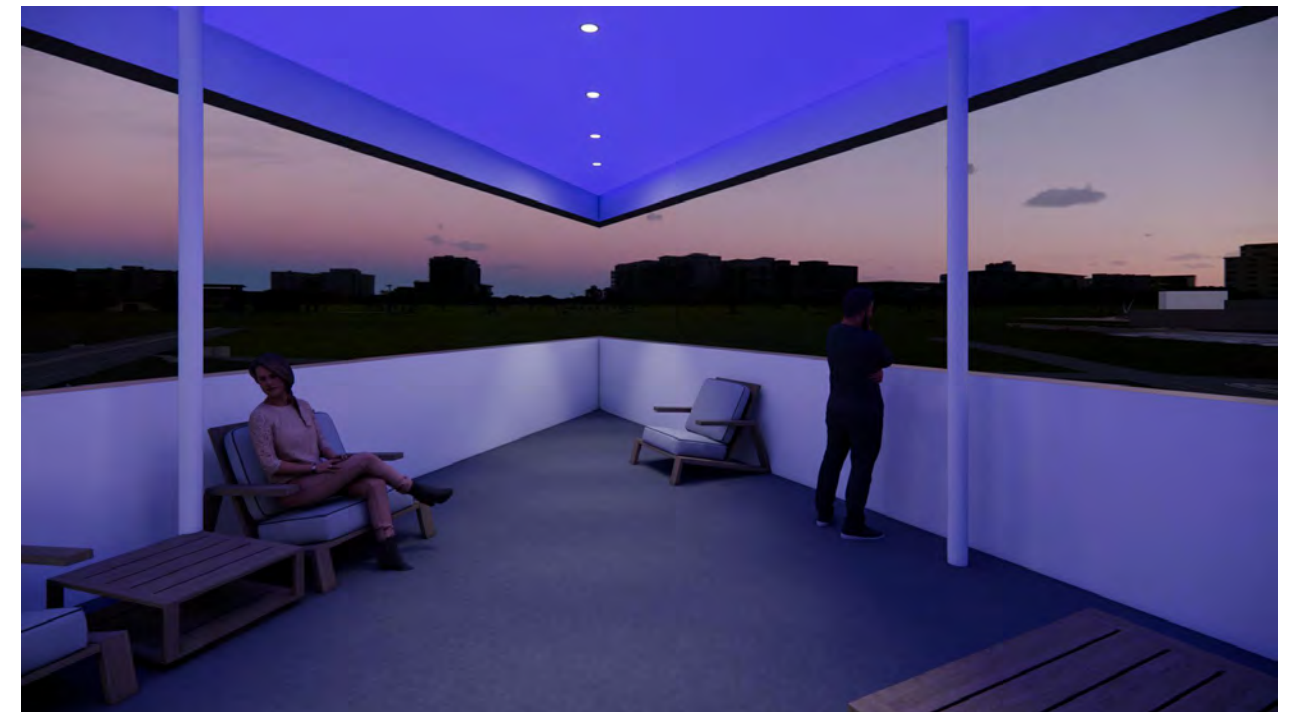
SHEET: A5.3 RENDERINGS

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Oklahoma City, OK 73104
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1. VIEW OF 4TH FLOOR DECK



2. VIEW OF 4TH FLOOR DECK AT DUSK



3. INTERIOR CORNER CONFERENCE ROOM



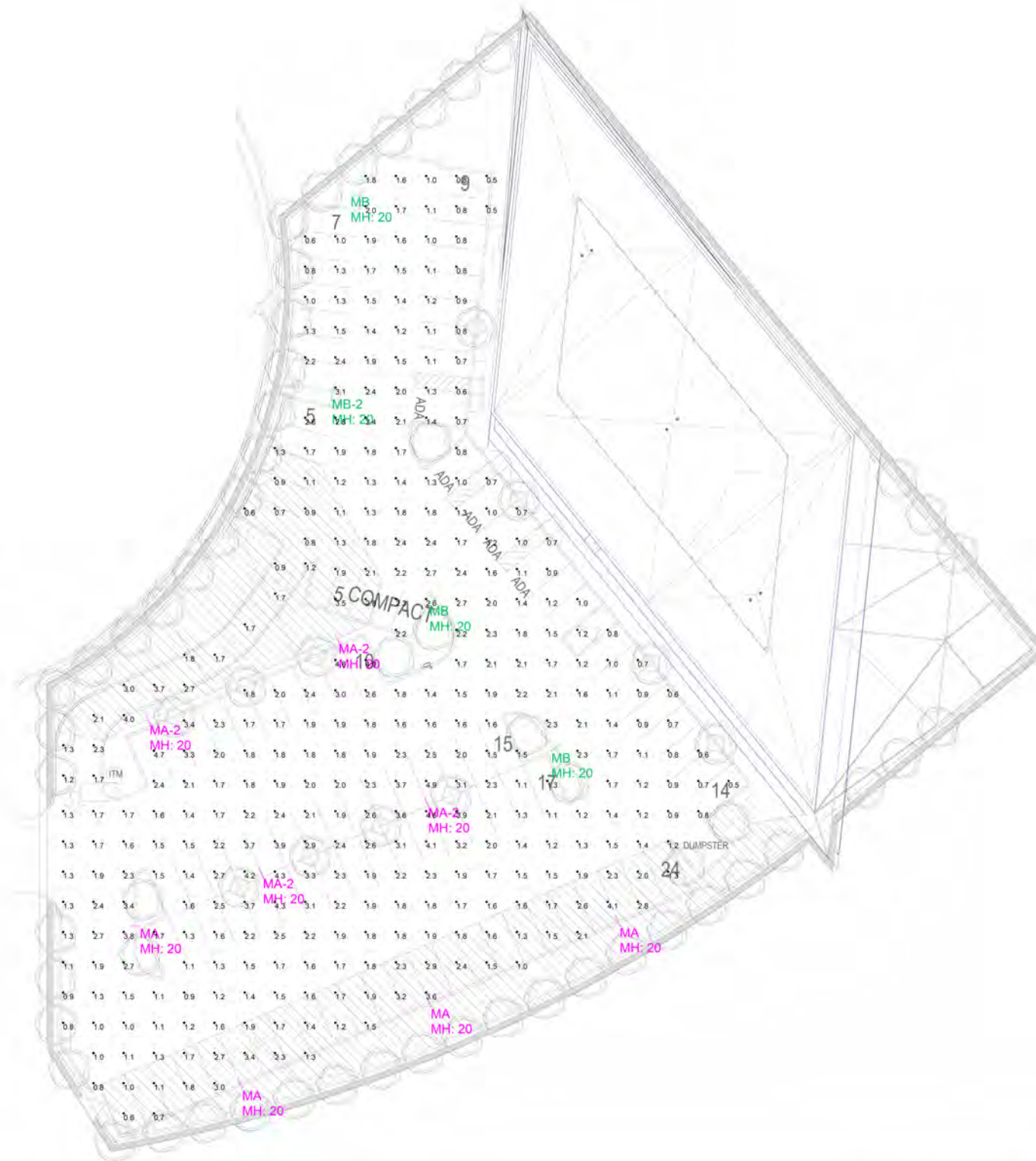
4. INTERIOR CORNER CONFERENCE ROOM

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
SHEET: A5.4 RENDERINGS

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ARCHITECTS

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GENERAL NOTES:

1. NOT FOR CONSTRUCTION PURPOSES.
2. ALL CALCULATIONS CONTAIN AN ERROR FACTOR OF +/- 10%.
3. CALCULATION POINT SPACING IS 10' x 10' ON GROUND
4. ALL CALCULATIONS ARE IN FOOT CANDLE MEASUREMENTS
5. UNLESS OTHERWISE NOTED - ALL REFLECTANCE VALUES ARE CALCULATED USING THE DEFAULT VALUES OF: PARKING LOT = .2, WALLS = .5, CEILING = .5



Bell & McCoy
Lighting and Controls
719 N. Shartel, Suite 200
Oklahoma City, OK

**SANDWAL OFFICE BUILDING
LIGHTING PACKAGE**

Revisions:
X XXXXXXXX

Drawn By:
C. Collins
Date:
7/10/2024
Scale:
N.T.S.
Sheet Title:
Site Photometrics
Sheet No.
1

Luminaire Schedule						Lum. Watts	Total Watts	Lum. Lumens	LLD	LDD	BF
Symbol	Qty	Label	Arrangement	[MANUFAC]	Description						
MA	4	MA	Single	LSI INDUSTRIES, INC.	LAL4-40-06L-3-30K8	48	192	5652	1,000	1,000	1,000
MA-2	4	MA-2	Back-Back	LSI INDUSTRIES, INC.	LAL4-40-06L-3-30K8	48	384	5652	1,000	1,000	1,000
MB	3	MB	Single	LSI INDUSTRIES, INC.	LAL4-40-06L-4-30K8	48	144	5652	1,000	1,000	1,000
MB-2	1	MB-2	Back-Back	LSI INDUSTRIES, INC.	LAL4-40-06L-4-30K8	48	96	5652	1,000	1,000	1,000

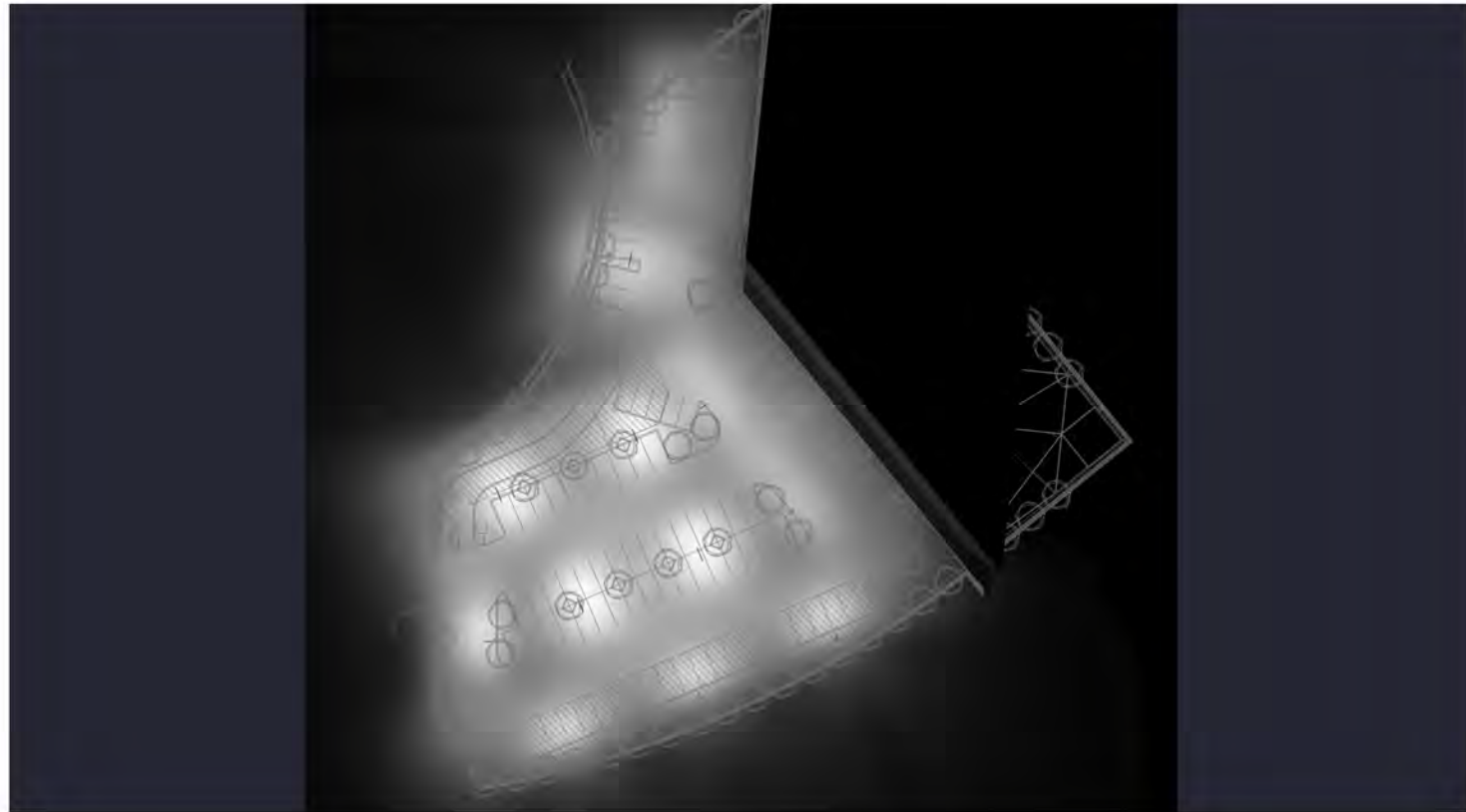
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVE	Illuminance	Fc	2.07	4.0	0.9	2.30	4.44
PARKING LOT	Illuminance	Fc	1.79	4.9	0.5	3.58	9.80

5SANDWAL OFFICE BUILDING

DATE: 11.19.2024
ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
SHEET: A6.0 SITE PHOTOMETRICS

RAND ELLIOTT
ARCHITECTS

35 Harrison Avenue
Oklahoma City, OK 73104
405.232.9554

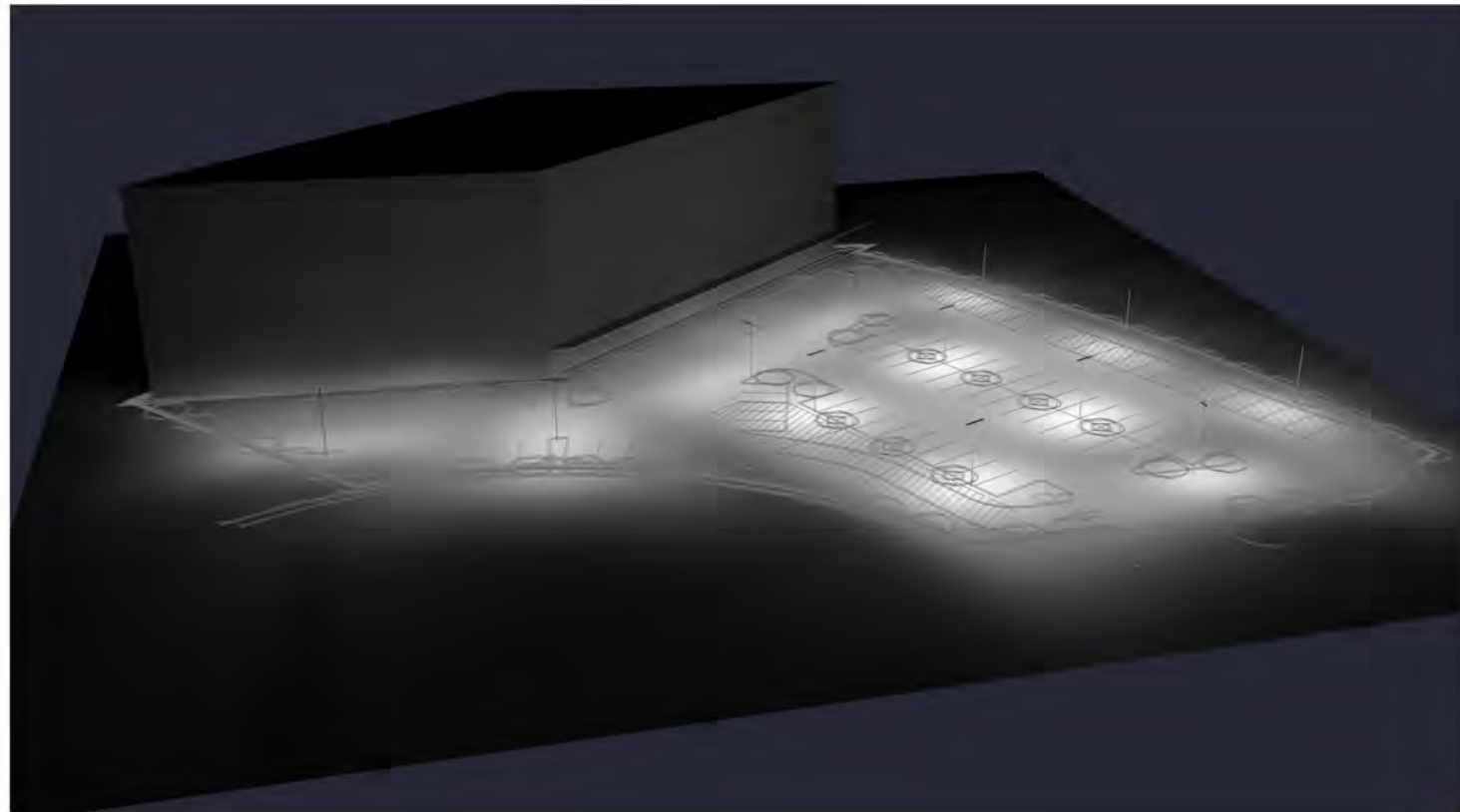


- GENERAL NOTES:
1. NOT FOR CONSTRUCTION PURPOSES.
 2. ALL CALCULATIONS CONTAIN AN ERROR FACTOR OF +/- 10%.
 3. CALCULATION POINT SPACING IS 10' x 10' ON GROUND
 4. ALL CALCULATIONS ARE IN FOOT CANDLE MEASUREMENTS
 5. UNLESS OTHERWISE NOTED - ALL REFLECTANCE VALUES ARE CALCULATED USING THE DEFAULT VALUES OF: PARKING LOT = .2, WALLS = .5, CEILING = .5



Bell & McCoy
Lighting and Controls
719 N. Shartel, Suite 200
Oklahoma City, OK

5ANDWAL OFFICE BUILDING
LIGHTING PACKAGE



Revisions:
X XX/XX/XXXX

Drawn By:
C. Collins
Date:
7/10/2024
Scale:
N.T.S.
Sheet Title:
Site Photometrics
Sheet No.
2

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
SHEET: A6.1 SITE PHOTOMETRICS

RAND ELLIOTT
ARCHITECTS

35 Harrison Avenue
Oklahoma City, OK 73104
405.232.9554



Catalog #: _____ Project: _____ Type: _____
 Prepared By: _____ Date: _____

Linear Area Light (LAL4)

Outdoor Linear Area Light



OVERVIEW	
Lumen Package (lm)	3,000 - 18,000
Wattage Range (W)	.24 - 144
Efficacy Range (LPW)	120 - 135
Weight lbs (kg)	7.6 - 12.3 (3.4 - 5.6)
Controls	IMSBT, ALB, 7-Pin, PCI

QUICK LINKS

- [Ordering Guide](#)
- [Performance](#)
- [Photometrics](#)
- [Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Formed housing.
- Fully enclosed weather-tight housing contains factory prewired drivers and field connections.
- Easily accessible electrical components via driver cover.
- Luminaire is proudly made in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

Optical System

- Select high-brightness LEDs in 2700K, 3000K, 3500K, 4000K, 5000K
- Minimum CRI of 80
- Distribution types 2, 3, 4 and 5 available - asymmetric optics are factory rotatable.
- State-of-the-Art silicone optics deliver industry leading optical control with an integrated gasket
- Zero Uplight

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC)
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2)
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.
- Operating temperature: -40°C to +40°C (-40°F to +104°F).
- 0-10V dimming (10% - 100%) standard. Must specify EXT option for dimming leads.
- Total harmonic distortion (THD): <20% Power factor (PF): >.90

Controls

- Optional integral passive infrared Bluetooth™ motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/7.

Installation

- Designed to mount to a square pole.
- Utilizes LSI's B2 drill pattern.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations
- 1.5G vibration rating.
- Meets Buy American Act requirements
- IDA compliant; with 3000K color temperature selection.

Linear Area Light (LAL4) Outdoor Linear Area Light

Have questions? Call us at (800) 436-7800

Type: _____

ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: LAL4 48 12L 3 UNV 30K8 BLK ALBCS1				
Prefix	Length	Lumen Package ²	Distribution	Rotation ³
LAL4 ¹ - 4" Linear Area Light	22 - 22" (6L max) 32 - 32" (6L max) 40 - 40" (12L max) 48 - 48" (6L-18L only)	3L - 3,000 lumens 6L - 6,000 lumens 9L - 9,000 lumens 12L - 12,000 lumens 15L - 15,000 lumens 18L - 18,000 lumens	2 - Type 2 3 - Type 3 4 - Type 4 5 - Type 5	Blank - No Rotation L - Optics rotated left 90° R - Optics rotated right 90°
Voltage	Color Temperature/Rendering	Finish	Controls	
UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	27K8 - 2700K CCT / 80CRI 30K8 - 3000K CCT / 80CRI 35K8 - 3500K CCT / 80CRI 40K8 - 4000K CCT / 80CRI 50K8 - 5000K CCT / 80CRI	BRZ - Dark Bronze BLK - Black GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver WHT - White PLP - Platinum Plus SVG - Salin Verde Green	Blank - None Wireless Controls System ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height) ⁴ ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height) ⁴ ALBMR1 - AirLink Blue Wireless Multi-Range Sensor Controller (8-15' MH) ⁴ Stand-Alone Controls EXT - 0-1 (v Dimming leads extended to housing exterior) CR7P - 7 Pin Control Receptacle ANSI C136.41 ⁵ IMSBTL1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH) ⁴ IMSBTL2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH) ⁴ Button Type Photocells PC120 - 120V PC1208-277 - 208-277V PC1347 - 347V	

Need more information?
[Click here for our glossary](#)

Have additional questions?
 Call us at (800) 436-7800

ACCESSORY ORDERING INFORMATION⁶

Part Number	Description
122514	PC120 Photocell for use with CR7P option (120V) ⁷
122515	PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) ⁷
122516	Twist Lock Photocell (347V) for use with CR7P ⁸
1225180	Twist Lock Photocell (480V) for use with CR7P ⁸
661409	AirLink 5 Pin Twist Lock Controller ⁹
661410	AirLink 7 Pin Twist Lock Controller ⁹
149328	Shorting Cap for use with CR7P

MOUNTING ACCESSORIES ORDERING INFORMATION⁶

Part Number	Description
674299CLR	Square Pole Tenon Adapter
740022CLR	15° Square Pole Quick Mount Bracket
750441CLR	Wall Mount Bracket
751534CLR	Square Pole Quick Mount Bracket
BKS PQM RD B2 CLR	Round Pole Quick Mount Bracket
BKS PQ15 RD B2 CLR	15° Round Pole Quick Mount Bracket
75163 1	10' Linear Bird Spike Kit (3-4' Recommended per Luminaire)
751632	Silicone Adhesive for Bird Spike Kit (Covers Approximately 25' of Linear Spike)

FUSING OPTIONS⁸

Part Number	Description
Single Fusing (120V)	
Single Fusing (277V)	
Double Fusing (208V, 240V)	See Fusing Accessory Guide
Double Fusing (480V)	
Double Fusing (347V)	

1. Use with B2 drilling pattern.
 2. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DEC listed.
 3. Not available with type 5 distribution.
 4. Motion sensors are field configurable via an app that can be downloaded from your smartphone's native app store. See controls section for more details.

5. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
 6. Accessories are shipped separately and field installed.
 7. Factory installed CR7P option required. See Options.
 8. Fusing must be located in the hand hole of pole.
 9. "CLR" to be replaced by paint finish selection. See Finish options for paint color selection.

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A6.2 EXTERIOR POLE LIGHT CUT SHEETS

RAND ELLIOTT
 ARCHITECTS

35 Harrison Avenue
 Oklahoma City, OK 73104
 405.232.9554

Linear Area Light (LAL4) Outdoor Linear Area Light

Have questions? Call us at (800) 436-7800

Type: _____

PHOTOMETRICS

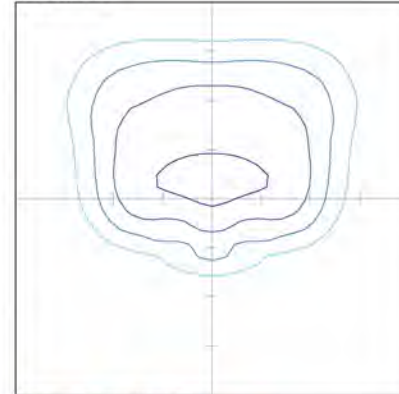
[Back to Quick Links](#)

LAL4-48-18L-4-40K8

Luminaire Data	
Type 4 Distribution	
Description	4000 Kelvin, 80 CRI
Delivered Lumens	17,790
Watts	144
Efficacy	124
IES Type	Type IV Short
BUG Rating	B3 U0 G3

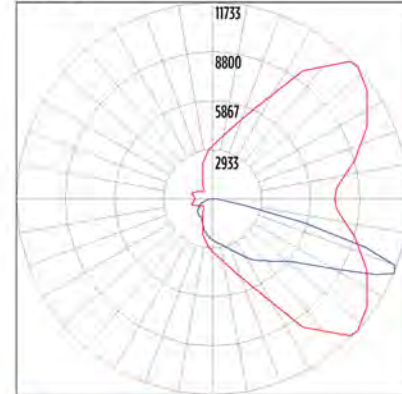
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	2,126	12%
Medium (30-60°)	8,638	48%
High (60-80°)	6,757	37%
Very High (80-90°)	270	1%
Uplight (90-180°)	-	0%
Total Flux	17,790	100%

ISO Footcandle



20' Mounting Height / 20' Grid Spacing
 5 FC 2 FC 1 FC 0.5 FC

Polar Curve



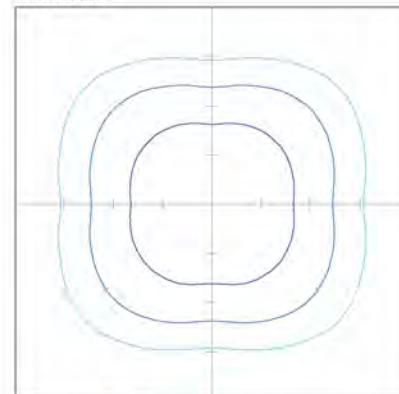
Vertical Plane Horizontal Cone

LAL4-48-18L-5-40K8

Luminaire Data	
Wide Distribution	
Description	4000 Kelvin, 80 CRI
Delivered Lumens	18,086
Watts	144
Efficacy	126
IES Type	Type VS Short
BUG Rating	B4 U0 G2

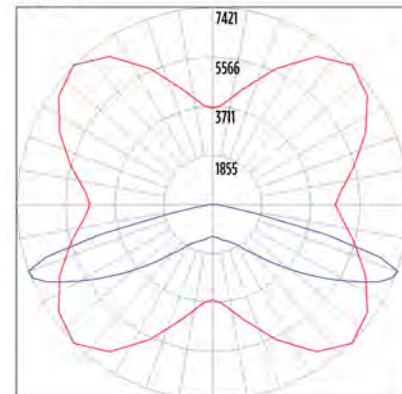
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	1,248	7%
Medium (30-60°)	7,795	43%
High (60-80°)	8,870	49%
Very High (80-90°)	175	1%
Uplight (90-180°)	-	0%
Total Flux	18,086	100%

ISO Footcandle



20' Mounting Height / 20' Grid Spacing
 5 FC 2 FC 1 FC 0.5 FC

Polar Curve



Vertical Plane Horizontal Cone

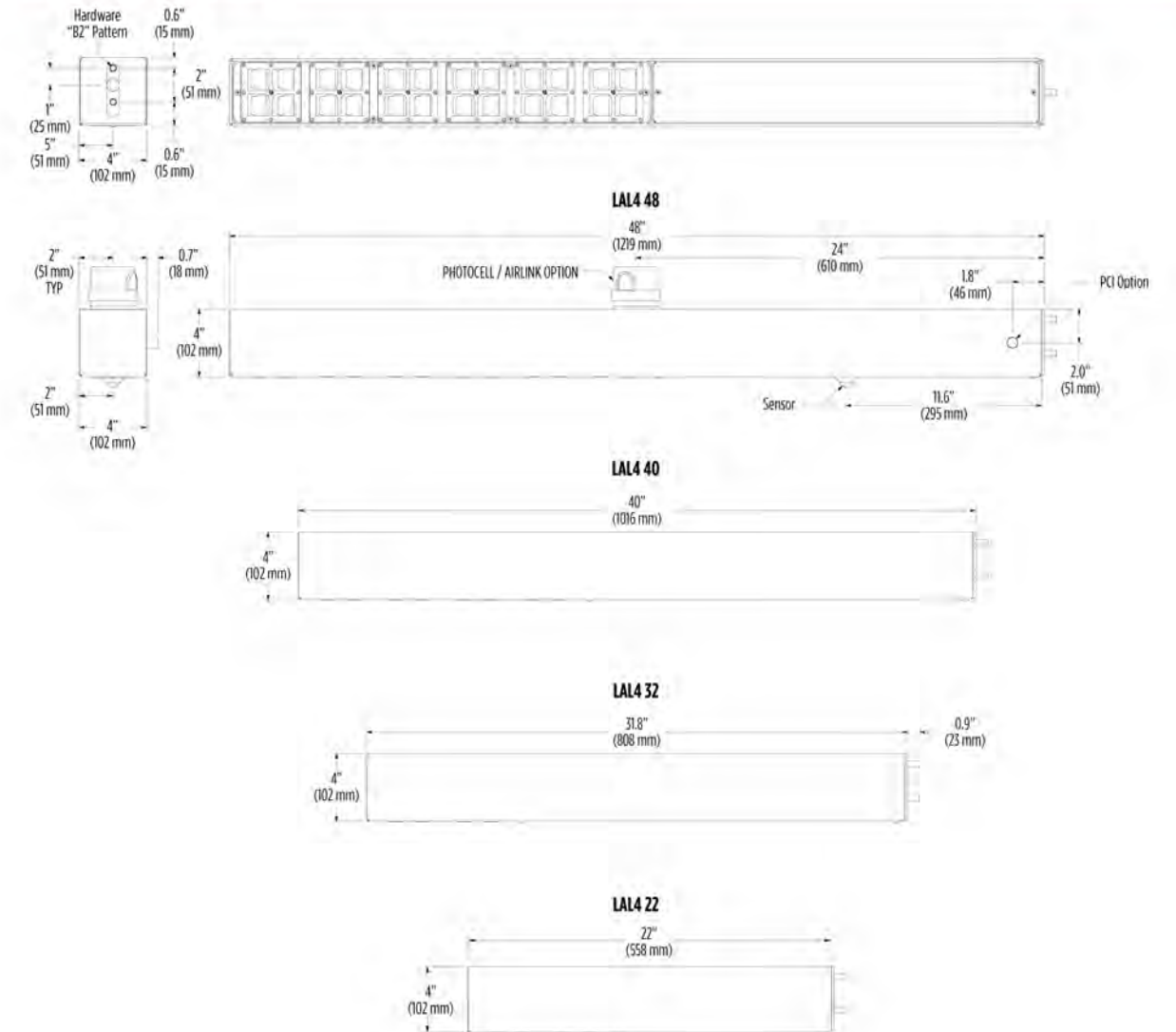
Linear Area Light (LAL4) Outdoor Linear Area Light

Have questions? Call us at (800) 436-7800

Type: _____

PRODUCT DIMENSIONS

[Back to Quick Links](#)



Luminaire EPA Chart - LAL4					
Configurations		22"	32"	40"	48"
Single	D90°	.07	1.1	1.3	1.6
D180°	T90°	1.4	2.2	2.6	3.2
	Q90°				

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024
 ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104
 SHEET: A6.4 EXTERIOR POLE LIGHT CUT SHEETS

RAND ELLIOTT
 ARCHITECTS

35 Harrison Avenue
 Oklahoma City, OK 73104
 405.232.9554

Linear Area Light (LAL4) Outdoor Linear Area Light

 Have questions? Call us at (800) 436-7800

1/11

CONTROLS

[Back to Quick Links](#)

Integral Bluetooth™ Motion and Photocell Sensor (IMSBTxL)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is IP66 rated for cold and wet locations (-40°F to 167°F). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more details about IMSBTxL](#)



AirLink Blue (ALBCSx)

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more details about AirLink Blue](#)



Sensor Sequence of Operations

Standard Programming	On Event	Off Event	On Light Level	Dim Light Level	Daylight Harvesting	Delay To Off	Sensitivity
OIMSBTxL/IMSBTxL	Motion	No Motion	100%	N/A	On; Auto Calibration	20 minutes	High
OIMSBTxL	Motion	No Motion	N/A	N/A	N/A	30 seconds	Auto

Operation	Description
On Event	Trigger that activates lights to turn on; either automatic via motion detected or manually activated via push of button.
Off Event	Trigger that activates lights to turn off; either automatic via no motion detected or manually activated via push of button.
On Light Level	The light level that the fixtures will turn on to when ON EVENT occurs.
Dim Light Level	The light level that the fixtures will dim down to when no motion is detected.
Delay to Dim	The amount of time after which no motion is detected that the fixtures will be triggered to dim down. This sequence is optional, and sensor can be programmed to only trigger the fixture to turn off by entering 100% in this field.
Delay to Off	The amount of time after which no motion is detected that the fixtures will be triggered to turn off. If delay to dim is part of the programmed functionality, this is the amount of time after which no motion is detected after the fixture have already dimmed down.
Sensitivity	The sensitivity can be set to high, medium, low, or auto where applicable. High will detect smaller, simple motions. Low will only detect larger more complex motions. Auto temperature calibration adjusts the PIR sensitivity as ambient temperature rises to increase detection of heat movement through the field of view.

5ANDWAL OFFICE BUILDING

DATE: 11.19.2024

ADDRESS: 616 N. WALNUT AVENUE, OKLAHOMA CITY, OK, 73104

SHEET: A6.5 EXTERIOR POLE LIGHT CUT SHEETS

RAND ELLIOTT
ARCHITECTS

35 Harrison Avenue
Oklahoma City, OK 73104
405.232.9554

OKLAHOMA CITY REDEVELOPMENT AUTHORITY

To: Board of Trustees of the Oklahoma City Redevelopment Authority

From: Kenton Tsoodle, Executive Director

Date: January 15, 2025

Ref: Resolution Approving and Ratifying the Executive Director's Actions Issuing an Administrative Approval of a Vendors List for Professional Services Providers, Including Acquisition and Relocation Services; Architecture, Landscape Architecture, City Planning, Urban Design and Construction Management; Civil Engineering and Traffic Analysis; Community and Neighborhood Engagement and Outreach; Demolition and Site Work; Environmental Assessment and Testing; Independent Appraisal Services; Land Surveying; and Land Title Examination and Title Insurance Services

TRUSTEES

J. Larry Nichols
Chairman

James R. Tolbert III
Vice Chairman

vacant

Judy J. Hatfield

David Holt

Russell M. Perry

Mark K. Stonecipher

EXECUTIVE DIRECTOR

Kenton Tsoodle

Background: OCRA was created for the purpose of assisting in the implementation of economic development and redevelopment projects and to provide financial assistance to OCURA. It is appropriate and desirable for the Board of Trustees to provide the Executive Director with the support of professional services from individuals or firms with the expertise and experience to assist in the implementation of the urban renewal plans that the OCURA is implementing and OCRA is supporting.

OCURA, on behalf of OCRA, has solicited invitations for proposals and/or requests for qualifications for various professional services in support of the achievement of the objectives of the urban renewal plans that OCURA is implementing and OCRA is supporting.

It is appropriate and desirable to create a list of preferred professional services providers from which OCURA may select such providers from time to time, from the responses to the RFP. It is appropriate and desirable for OCRA to adopt the same Approved Vendor's List, from which OCRA may select professional services providers from time to time.

The Executive Director has previously issued a memorandum indicating administrative approval of the Approved Vendors List, pending ratification of such approval by the Board of Trustees.

The list, if ratified, will exist for a period from January 1, 2025 through December 31, 2027, unless OCURA wishes to solicit new proposals sooner.

Summary of Agenda Item: The resolution approves and ratifies a vendors list for professional services providers from which OCRA may enter into professional services contracts.

Recommendation: Approval of Resolution

RESOLUTION NO. _____

RESOLUTION APPROVING AND RATIFYING THE EXECUTIVE DIRECTOR'S ACTIONS ISSUING AN ADMINISTRATIVE APPROVAL OF A VENDORS LIST FOR PROFESSIONAL SERVICES PROVIDERS, INCLUDING ACQUISITION AND RELOCATION SERVICES; ARCHITECTURE, LANDSCAPE ARCHITECTURE, CITY PLANNING, URBAN DESIGN AND CONSTRUCTION MANAGEMENT; CIVIL ENGINEERING AND TRAFFIC ANALYSIS; COMMUNITY AND NEIGHBORHOOD ENGAGEMENT AND OUTREACH; DEMOLITION AND SITE WORK; ENVIRONMENTAL ASSESSMENT AND TESTING; INDEPENDENT APPRAISAL SERVICES; LAND SURVEYING; AND LAND TITLE EXAMINATION AND TITLE INSURANCE SERVICES

WHEREAS, the Oklahoma City Redevelopment Authority, a public trust ("OCRA"), was created for the purpose of assisting in the implementation of economic development and redevelopment projects and to provide financial assistance to the Oklahoma City Urban Renewal Authority ("OCURA") in connection with its proposed and approved redevelopment activities; and

WHEREAS, the powers of OCRA are vested in and shall be exercised by the Board of Trustees; and

WHEREAS, the Board of Trustees has heretofore vested the position of Executive Director of OCRA with the responsibilities for the administrative affairs of OCRA; and

WHEREAS, it is appropriate and desirable to provide the Executive Director with the support of professional services from individuals or firms with the expertise and experience to assist in the implementation of the urban renewal plans that OCURA is implementing and OCRA is supporting; and

WHEREAS, OCURA, on behalf of itself and OCRA, has solicited invitations for proposals and/or requests for qualifications for professional service providers ("RFP"), including but not limited to acquisition and relocation services; architecture, landscape architecture, city planning, urban design and construction management; civil engineering and traffic analysis; community and neighborhood engagement and outreach; demolition and site work; environmental assessment and testing; independent appraisal services; land surveying; and land title examination and title insurance services in support of the achievement of the objectives of the urban renewal plans that OCURA is implementing and OCRA is supporting; and

WHEREAS, OCURA has approved a list of preferred professional services providers ("Approved Vendors List") from which OCURA may select such providers from time to time, from the responses to the RFP; and

WHEREAS, it is appropriate and desirable for OCRA to adopt the same Approved Vendors List, from which OCRA may select professional services providers from time to time; and

WHEREAS, the Executive Director has previously issued a memorandum indicating administrative approval of the Approved Vendors List, pending ratification of such approval by the Board of Trustees.

NOW, THEREFORE, BE IT RESOLVED by the Board of Trustees of the Oklahoma City Redevelopment Authority as follows:

1. The Approved Vendors List, as shown in Schedule A to this Resolution, is hereby approved as the list of professional services providers for the professional services listed from which OCRA may enter into professional services contracts for the period from January 1, 2025, through December 31, 2027.
2. The actions of the Executive Director in administratively approving the Approved Vendors List, and any and all actions taken pursuant to that approval, are hereby ratified and confirmed.
3. The Executive Director is authorized to issue additional invitations for proposals and requests for qualifications for professional services that are believed to be necessary to assist OCRA with the implementation and support of urban renewal plans, and to present such additional professional services providers to the Board of Trustees to be added to the Approved Vendors List.
4. The Executive Director, with the advice and assistance of Legal Counsel, is authorized to enter into professional services agreements with the professional services providers listed on the Approved Vendors List.
5. The authorizations in this Resolution shall not create any legal obligation for OCRA to enter into contracts with the professional services providers on the Approved Vendors List.
6. The Executive Director, Legal Counsel, and officers and staff of OCRA are authorized and directed to prepare and execute such documents, letters, and authorizations as may be appropriate or desirable to implement this resolution.

I, _____, Secretary of the Board of Trustees of the Oklahoma City Redevelopment Authority, certify that the foregoing Resolution No. _____ was duly adopted at a **regular** meeting of the Board of Trustees of the Oklahoma City Redevelopment Authority, held at the Arts District Garage Conference Room, 431 West Main Street, Suite B, Oklahoma City, Oklahoma 73102, on the **15th** day of **January, 2025**; that said meeting was held in accordance with the By-Laws of OCRA and the Oklahoma Open Meetings

Act; that any notice required to be given of such meeting was properly given; that a quorum was present at all times during said meeting; and that the Resolution was duly adopted by a legally sufficient number of the Trustees.

SECRETARY

(SEAL)

SCHEDULE A

2025-2027 Professional Services Vendor Lists

Acquisition and Relocation Services

- Pinnacle Consulting Management Group, Inc
- Smith-Roberts Land Services, Inc.
- Robinson Park, LLC

Architecture, Landscape Architecture, City Planning, Urban Design and Construction Management

- ADG Blatt PC
- Allford Hall Monaghan Morris
- Connect Advisors, LLC
- FSB Architect + Engineers
- Gardner.studio
- GH2 Architects, LLC
- GSB, Inc.
- C. H. Guernsey & Co. dba Guernsey
- Halff
- HFSD, Inc.
- Johnson & Associates
- JE Dunn Construction
- Kimley-Horn and Associates
- Kirkpatrick Program Management, Inc.
- Official, LLC
- Olsson, Inc.
- Parkhill, Smith & Cooper, Inc.
- Perkins Eastman Architects, DPC
- Rees Associates, Inc.
- Robinson Park, LLC
- Script Architecture, PLLC
- Stantec Consulting Services, Inc.
- Tunnell-Spangler & Associates dba TSW
- Wallace Design Collective

Civil Engineering and Traffic Analysis

- CEC Corporation
- Crafton Tull
- Envirotech Engineering & Consulting, Inc.
- Halff

- Johnson & Associates
- Kimley-Horn and Associates
- MacArthur Associated Consultants
- Mbroh Engineering
- Midwest Engineering and Testing Corporation
- Olsson, Inc
- Parkhill (Previous name: Cardinal Engineering and Lemke Land Surveying)
- Smith Roberts Baldischwiler, LLC
- Stantec Consulting Services, Inc.
- Wallace Design Collective, PC

Community and Neighborhood Engagement and Outreach

- ADG Blatt
- Anglin Public Relations
- C.H. Guernsey & Co. dba Guernsey
- Halff
- Olsson, Inc
- Tunnell, Spangler & Associates, INC dba TSW
- Wallace Design Collective, PC
- White Hawk Engineering & Design, LLC

Demolition and Site Work

- Midwest Wrecking Co.

Environmental Assessment and Testing

- Blackshare Environmental Solutions, LLC
- Envirotech Engineering & Consulting, Inc.
- Halff Associates, Inc
- Crafton, Tull and Associates, Inc.
- C. H. Guernsey & Co. dba Guernsey
- Kleinfelder, Inc.
- Summit Holdings Inc. dba Oklahoma Environmental Services
- Olsson, Inc.
- Stearns, Conrad and Schmidt Consulting Engineers, Inc. dba SCS Engineers
- Stantec Consulting Services Inc.
- Terracon
- WSB LLC

Independent Appraisal Services

- Kilpatrick & Associates, Inc.
- Lowery Property Advisors, LLC

- Stacy and Associates, Inc.
- NPVal, LLC
- Walton Property Services, L.L.C. (dba Valbridge Property Advisors)

Land Surveying

- CEC Corporation
- Crafton, Tull and Associates, Inc.
- Halff
- Johnson & Associates, LLC
- Jividen And Company, PLLC
- MacArthur Associated Consultants, LLC
- Olsson, Inc.
- Parkhill, Smith & Cooper, Inc.
- Pinnacle Consulting Management Group, Inc.
- Smith Roberts Baldischwiler, LLC
- Wallace Design Collective, PC
- White Hawk Engineering & Design, LLC

Land Title Examination and Title Insurance

- First American Title Insurance Company
- American Eagle Title Insurance Company
- Stewart Title of Oklahoma, Inc.
- Chicago Title Oklahoma Co.

SCHEDULE A

2025-2027 Professional Services Vendor Lists

Acquisition and Relocation Services

- Pinnacle Consulting Management Group, Inc
- Smith-Roberts Land Services, Inc.
- Robinson Park, LLC

Architecture, Landscape Architecture, City Planning, Urban Design and Construction Management

- ADG Blatt PC
- Allford Hall Monaghan Morris
- Connect Advisors, LLC
- FSB Architect + Engineers
- Gardner.studio
- GH2 Architects, LLC
- GSB, Inc.
- C. H. Guernsey & Co. dba Guernsey
- Halff
- HFSD, Inc.
- Johnson & Associates
- JE Dunn Construction
- Kimley-Horn and Associates
- Kirkpatrick Program Management, Inc.
- Official, LLC
- Olsson, Inc.
- Parkhill, Smith & Cooper, Inc.
- Perkins Eastman Architects, DPC
- Rees Associates, Inc.
- Robinson Park, LLC
- Script Architecture, PLLC
- Stantec Consulting Services, Inc.
- Tunnell-Spangler & Associates dba TSW
- Wallace Design Collective

Civil Engineering and Traffic Analysis

- CEC Corporation
- Crafton Tull
- Envirotech Engineering & Consulting, Inc.
- Halff
- Johnson & Associates
- Kimley-Horn and Associates
- MacArthur Associated Consultants
- Mbroh Engineering
- Midwest Engineering and Testing Corporation

- Olsson, Inc
- Parkhill (Previous name: Cardinal Engineering and Lemke Land Surveying)
- Smith Roberts Baldischwiler, LLC
- Stantec Consulting Services, Inc.

Wallace Design Collective, PCCommunity and Neighborhood Engagement and Outreach

- ADG Blatt
- Anglin Public Relations
- C.H. Guernsey & Co. dba Guernsey
- Halff
- Olsson, Inc
- Tunnell, Spangler & Associates, INC dba TSW
- Wallace Design Collective, PC
- White Hawk Engineering & Design, LLC

Demolition and Site Work

- Midwest Wrecking Co.

Environmental Assessment and Testing

- Blackshare Environmental Solutions, LLC
- Envirotech Engineering & Consulting, Inc.
- Halff Associates, Inc
- Crafton, Tull and Associates, Inc.
- C. H. Guernsey & Co. dba Guernsey
- Kleinfelder, Inc.
- Summit Holdings Inc. dba Oklahoma Environmental Services
- Olsson, Inc.
- Stearns, Conrad and Schmidt Consulting Engineers, Inc. dba SCS Engineers
- Stantec Consulting Services Inc.
- Terracon
- WSB LLC

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- Kilpatrick & Associates, Inc.
- Lowery Property Advisors, LLC
- Stacy and Associates, Inc.
- NPVal, LLC
- Walton Property Services, L.L.C. (dba Valbridge Property Advisors)

Land Surveying

- CEC Corporation
- Crafton, Tull and Associates, Inc.
- Halff
- Johnson & Associates, LLC
- Jividen And Company, PLLC
- MacArthur Associated Consultants, LLC
- Olsson, Inc.
- Parkhill, Smith & Cooper, Inc.

- Pinnacle Consulting Management Group, Inc.
- Smith Roberts Baldischwiler, LLC
- Wallace Design Collective, PC
- White Hawk Engineering & Design, LLC

Land Title Examination and Title Insurance

- First American Title Insurance Company
- American Eagle Title Insurance Company
- Stewart Title of Oklahoma, Inc.
- Chicago Title Oklahoma Co.

OKLAHOMA CITY REDEVELOPMENT AUTHORITY

To: Board of Trustees of the Oklahoma City Redevelopment Authority
From: Kenton Tsoodle, Executive Director
Date: January 15, 2025
Ref: Financial Statements as of September 30, 2024

TRUSTEES

J. Larry Nichols
Chairman

James R. Tolbert III
Vice Chairman

Vacant

Judy J. Hatfield

David Holt

Russell M. Perry

Mark K. Stonecipher

EXECUTIVE DIRECTOR
Kenton Tsoodle

Background: The Oklahoma City Redevelopment Authority prepares quarterly year-to-date financial statements for review and acceptance by the Board of Trustees. The following are highlights of the financial statements through September 30, 2024.

Current assets were \$10,177,771 at the end of September 2024 and primarily held in Cash, Investments and Due from Other Governments. \$570,429 of cash held in the TIF Fund is reserved for the purchase of furniture and equipment for Innovation Hall. Due from Other Governments includes amounts due from OCURA for property purchases and Oklahoma County for accrued TIF revenues.

Capital Assets net of depreciation totaled \$14,337,061 including Construction in Progress – Innovation Hall, the Cytovance Building and the Brockway Center.

Other Noncurrent Assets of \$4,274,072 is a loan for the Page Woodson project.

Liabilities totaled \$5,600,772. This includes funds held for the purchase of furniture for Innovation Hall and a loan from the City of Oklahoma City for the Convergence Project.

OCRA had a net position of \$23,188,132 at September 30, 2024.

Revenues recorded through September 30th were \$38,315.

Expenditures were \$121,986.

OCRA had a negative change in fund balance of \$83,672 year-to-date, and fund balance of \$4,576,999 as of September 30, 2024.

Recommendation: Acceptance of the September 30, 2024, financial statements.

Oklahoma City Redevelopment Authority
Statement of Net Position
and Reconciliation of Net Position to Fund Balance
as of September 30, 2024

Assets	
Current Assets	
Cash & Cash Equivalents	1,924,770
Cash & Cash Equivalents - Reserved	570,429
Investments	2,500,000
Interest Receivable	93,634
PILOT Receivable	282,323
Due from Other Governments	4,806,614
<u>Total Current Assets</u>	<u>10,177,771</u>
Capital Assets	
Land	376,891
Air Rights	942,666
Buildings (1)	7,679,106
Innovation Hall	10,432,871
Accumulated Depreciation	(5,094,473)
<u>Total Capital Assets</u>	<u>14,337,061</u>
Other Noncurrent Assets	
Notes Receivable	5,650,000
Allowance for Loan Loss	(1,375,928)
<u>Total Other Noncurrent Assets</u>	<u>4,274,072</u>
<u>Total Assets</u>	<u>28,788,903</u>
Liabilities	
Current Liabilities	
Accounts & Other Payable	570,779
Due to Urban Renewal/Other Governments	29,992
<u>Total Current Liabilities</u>	<u>600,772</u>
<u>Total Noncurrent Liabilities</u>	<u>5,000,000</u>
<u>Total Liabilities</u>	<u>5,600,772</u>
<u>Net Position</u>	<u>23,188,132</u>
Reconciliation of Net Position to Fund Balance	
<i>Not Reported in Governmental Funds Balance Sheet</i>	
Land	(376,891)
Air Rights, Buildings, and Innovation Hall	(19,054,643)
Accumulated Depreciation	5,094,473
Notes Receivable, net	(4,274,072)
<u>Total Fund Balance</u>	<u>4,576,999</u>
(1) Cytovance and Brockway Center	

Oklahoma City Redevelopment Authority
Governmental Funds Balance Sheet and Statement of Revenues
as of and for the Three Months ending September 30, 2024

	<u>TIF</u>
Assets	
Cash & Cash Equivalents	1,924,770
Cash & Cash Equivalents - Reserved	570,429
Investments	2,500,000
Interest Receivable	93,634
PILOT Receivable	282,323
Due From Other Governments	4,806,614
Total Assets	10,177,771
Liabilities	
Accounts & Other Payable	570,779
Due to Urban Renewal/Other Governments	5,029,992
Total Liabilities	5,600,772
Fund Balance	4,576,999
Total Liabilities & Fund Balance	10,177,771
Revenues	
Apportioned Ad Valorem Taxes/PILOT - TIF	-
Interest Income	7,041
Investment Income	31,273
Other Income	-
Total Revenues	38,315
Expenditures	
Commercialization of Research & Technology	25,000
Placemaking	22,619
Implementation & Administration of Project Plan	67,965
Other Project Redevelopment Activity Costs	6,403
Payments to City of OKC	-
Total Expenditures	121,986
Changes in Fund Balance	(83,672)
Fund Balance, Beginning of Year	4,660,671
Fund Balance, Current	4,576,999

Oklahoma City Redevelopment Authority
Schedule of Investments
September 30, 2024

<u>Investments</u>	<u>Interest</u> <u>Rate</u>	<u>Maturity</u> <u>Date</u>	<u>Settlement</u> <u>Date</u>	<u>Amount</u>
All In Federal Credit Union CD	5.60%	11/29/24	11/29/23	250,000
First National Bank of Omaha	5.40%	12/09/24	06/07/24	250,000
First Source FCD CD	5.05%	01/29/25	01/29/24	250,000
Signature Federal Credit Union CD	5.45%	02/24/25	08/23/23	250,000
Connexus Credit Union CD	5.50%	02/25/25	08/25/23	250,000
Freedom Northwest Credit Union CD	5.50%	02/28/25	08/30/23	250,000
Ally Bank	5.35%	03/27/25	06/27/24	250,000
Florida Central Credit Union CD	5.35%	08/25/25	08/25/23	250,000
Flagstar Bank NA	5.00%	06/26/26	06/24/24	250,000
Alliant Credit Union CD	5.60%	11/20/26	11/20/23	250,000
Total TIF Investments	5.38%			2,500,000